

A photograph of a residential street scene. In the foreground, there is a white metal fence with decorative posts. Behind the fence is a wooden building with a weathered appearance. The image is overlaid with a purple gradient.

DRAFT Brimbank Housing & Neighbourhood Character Background Report Appendices

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mesh

Prepared by Mesh in collaboration with Brimbank City Council

7.1 Summary of Zones in Brimbank

Zones	Application	Housing/Character outcomes encouraged within the zone	Commentary on Zone use in Brimbank
Mixed Use Zone (MUZ)	Applied along small sections of Calder Freeway and Western Ring Road, at the site of St Lawrence Primary School in Derrimut, and within activity centres, including St Albans and Cairnlea.	Residential development at higher densities that complements the mixed use function of the area. Encourages development that responds to the existing or preferred neighbourhood character of the area. No controls stipulating maximum number of storeys or building height.	The MUZ was not used in <i>Home and Housed</i> . It is applied where there is an existing mixture of uses or to redevelopment sites (e.g., the Lumo development in Sunshine North). The schedule has not been used to specify objectives or ResCode variations, which is consistent with the varied nature of the zone's application.
Residential Growth Zone (RGZ) Schedule 1 to Clause 32.07 Residential Growth Zone (RGZ1)	Applied along the edges of the Sydenham Major Activity Centre and Sunshine MeAC and within a substantial portion of the Keilor Downs, Deer Park, and St Albans Activity Centres.	Substantial change to deliver housing growth in medium to high densities to activity and town centres rich in services and transport. Designated for residential development of up to four storeys. Building height should not exceed 13.5 metres. Schedule 1 varies the minimum street setback (A3 and B6) standard, site coverage (A5 and B8) standard, landscaping (B13) standard and private open space (A17 and B28) standard. A detailed summary of Schedule 1 is provided in Section 7.1 in the Appendices.	Some tensions are arising between RGZ's substantial change expectations, and neighbourhood character policy. Some areas of RGZ are affected by the HO (near the Sunshine and St Albans activity centres), which creates conflict between expectations for housing change, and protection of heritage values.
General Residential Zone (GRZ) Schedule 1 to Clause 32.08 General	Applied to the neighbourhoods with reasonable access to services, facilities, and public transport, including neighbourhoods surrounding the Sydenham, St Albans, Ardeer, Sunshine, and Deer Park Activity Centres.	Incremental change to deliver housing diversity, including medium density housing that respects neighbourhood character, to areas rich in services and transport. Designated for residential development of up to three storeys. Building height should not exceed 11 metres.	Guidance on preferred future character in the context of 'incremental change' is limited given the absence of neighbourhood character objectives. Schedule 1 primarily focuses on increasing landscaping and private open space.

Zones	Application	Housing/Character outcomes encouraged within the zone	Commentary on Zone use in Brimbank
Residential Zone (GRZ1) Schedule 2 to Clause 32.08 General Residential Zone (GRZ2)		<p>Schedule 1 varies the landscaping (B13) and private open space (A17 and B28) standard.</p> <p>Schedule 2 does not include any variations.</p> <p>A detailed summary of Schedule 2 is provided in Section 7.1 in the Appendices.</p>	<p>The drafting of the varied B13 requirement for a landscaped vertical screen has been the subject of VCAT commentary, is no longer in accordance with PPN guidance and should be reviewed as part of this Project.</p> <p>GRZ2 is used for a site-specific development at Cairnlea. Development has not yet occurred.</p> <p>Further analysis of the schedule's influence on neighbourhood character is provided in Section 7.1 in the Appendices.</p>
Neighbourhood Residential Zone (NRZ) Schedule 1 to Clause 32.09 Neighbourhood Residential Zone (NRZ1) Schedule 2 to Clause 32.09 Neighbourhood Residential Zone (NRZ2)	Broadly applied to residential areas between activity centres.	<p>Limited change to deliver low density housing that protects neighbourhood character.</p> <p>Designated for residential development of no more than two storeys. Building height should not exceed 9 metres (or 12m in the NRZ2).</p> <p>Schedules 1 and 2 vary the site coverage (A5 and B8), the permeability (A6 and B9), the landscaping (B13) and the private open space (A17 and B28) standards.</p> <p>A detailed summary of Schedules 1 and 2 is provided in Section 7.1 in the Appendices.</p>	<p>The schedules collectively seek a greater level of spaciousness around dwellings (lower site coverage, enhanced open space and landscaping) than the GRZ.</p> <p>However, despite these variations, the development outcomes in the GRZ and NRZ are often quite similar.</p> <p>The NRZ2 applies only to a small development area in Sunshine North. This is a newly developing area that is also subject to Design Guidelines and a DDO and DPO.</p> <p>Further analysis of the schedule's influence on neighbourhood character is provided in Section 7.1 in the Appendices.</p>
Commercial 1 Zone (CZ1)	Applied to local and neighbourhood activity centres, including Keilor Park, Keilor Downs, Cairnlea, and Derrimut, as well as the major activity centres of St Albans and Brimbank Central.	Residential development that complements the commercial use of the area (above ground floor).	<p>This zone is appropriate for commercial areas but provides limited guidance regarding housing expectations without other policy or overlays (the schedule cannot be used for that purpose).</p> <p>Residential development is generally supported in C1Z in Brimbank by local policy (where it complements the centre). Apartment developments are noted in Sunshine North and St Albans C1Z.</p>

Zones	Application	Housing/Character outcomes encouraged within the zone	Commentary on Zone use in Brimbank
			While housing in these areas will contribute to Brimbank's overall housing supply and diversity, the area is outside the scope of this project.
Activity Centre Zone (ACZ) Schedule 1 to Clause 37.08 Activity Centre Zone (ACZ1)	Applied to the Sunshine MeAC.	Residential development at high densities that responds to existing development in the activity centre. Preferred maximum height of 8-9 storeys in mixed use areas and 4-5 storeys in residential growth areas.	<p>This zone is an appropriate zone for facilitating the development of complex activity centres, with multiple uses and design requirements.</p> <p>Apartment developments are occurring in the Sunshine ACZ and there remains substantial capacity for development. While housing in these areas will contribute to Brimbank's overall housing supply and diversity, the area is outside the scope of this project.</p>
Comprehensive Development Zone (CDZ) Schedule 1 to Clause 37.02 Comprehensive Development Zone (CDZ1) Schedule 1 to Clause 37.02 Comprehensive Development Zone (CDZ2)	Applied to the Sydenham/Watgardens Activity Centre and surrounding key sites (including a retirement village).	Residential development at higher densities that complements the provision of shops and services. Height and setback requirements specified in precinct maps.	This special purpose zone gives specific plan-based direction for strategic development sites such as Watgardens and surrounds, including direction for housing. While housing in these areas will contribute to Brimbank's overall housing supply and diversity, the area is outside the scope of this project.

7.2 Summary of Residential Zones Schedules

Zone and Schedule	Objectives*	Clause 54 and 55 Requirements	Max. Building Height	Application Requirements	Decision Guidelines
32.04 Mixed Use Zone (MUZ) Brimbank Mixed Use Areas	None specified	None specified	None specified	None specified.	None specified.
32.07 Residential Growth Zone (RGZ1) Substantial Change Areas	None specified. (<i>Design Objectives</i>)	<p>A3 & B6: Ground level and level 1 should be set back the average of the adjoining lots.</p> <p>A5 & B8: The site area covered by buildings should not exceed 70%.</p> <p>B13: A minimum of 1 medium sized tree of 6–12 m (at maturity) should be provided in the front setback.</p> <p>Planting to be provided along the length of any driveway.</p> <p>Where new building bulk visually impacts on adjoining dwellings, a landscaped vertical screen should be provided.</p> <p>A17 & B28: An area of 15–40sqm at ground level with convenient access from a living room, or</p>	None specified.	<p>A neighbourhood and site description (NSD) plan which must show:</p> <ul style="list-style-type: none"> At least three sites or buildings on both sides of the proposed development, opposite and to the rear of the proposed development. The built form, scale, and character of the area, including front fencing (i.e., height of buildings, front and side setbacks, location and width of vehicle and pedestrian crossovers, vegetation, land topography). Architectural and roof styles. A streetscape elevation showing the proposed development in the context of three adjoining dwellings or buildings on each side. <p>A Design Response Plan which must demonstrate:</p> <ul style="list-style-type: none"> How the proposed development responds to the characteristics identified in the neighbourhood and site description plan and contributes to a preferred denser character. Plans showing bin enclosures integrated into the design of the development. <p>Demonstrate that on site water storage and detention has been considered in the design.</p>	<ul style="list-style-type: none"> Opportunities to maximise development through consolidation of lots. Whether the development provides for an appropriate built form, scale and height transition to an adjoining Neighbourhood Residential Zone, General Residential Zone, or commercial zoning. The extent to which landscaping softens the appearance of the proposed development and assists in the transition to existing development. The layout and appearance of areas set aside for car parking, access and egress, loading and the location of any proposed off street car parking. Whether garages and carports visually dominate the proposed development. Whether a variation to the requirements of Clause 2.0 would result in a loss of on or off-site amenity. The use of architectural features and building design, rather than screens, as a mechanism to protect privacy for adjoining residents. The concealment of ancillary services from the front, side, and rear boundary views.

Zone and Schedule	Objectives*	Clause 54 and 55 Requirements	Max. Building Height	Application Requirements	Decision Guidelines
		A balcony of 8-12sqm with a minimum width of 2 m and convenient access from a living room.			
32.08 General Residential Zone (GRZ1) Incremental Change Areas	None specified.	<p>B13: A minimum of 1 medium-sized tree of 6–12 m (at maturity) should be provided in the front setback.</p> <p>A minimum of 1 small to medium sized tree up to 6 m (at maturity) should be provided in private or secluded private open space greater than 25sqm in area.</p> <p>Planting to be provided along the length of any driveway.</p> <p>Where new building bulk visually impacts on adjoining dwellings, a landscaped vertical screen should be provided.</p> <p>A17 & B28: An area of 40sqm, with one part of the private open space to consist of secluded private open space with a minimum area of 25sqm and a minimum dimension of 4m.</p> <p>Secluded private open space should not be in the front setback of a dwelling or residential building and</p>	None specified.	<p>The neighbourhood and site description plan (NSD) which must show:</p> <ul style="list-style-type: none"> At least three sites or buildings on both sides of the proposed development, opposite and to the rear of the proposed development. The built form, scale, and character of the area, including front fencing (i.e., height of buildings, front and side setbacks, location and width of vehicle and pedestrian crossovers, vegetation, land topography). Location of open space (i.e., degree of openness at the rear of lots). Architectural and roof styles. A streetscape elevation showing the proposed development in the context of three adjoining dwellings or buildings on each side. <p>A Design Response plan which must demonstrate:</p> <ul style="list-style-type: none"> How the proposed development responds to the characteristics identified in the neighbourhood and site description plan and should include a written evaluation of how the features of the neighbourhood identified in the neighbourhood and site description plan influence the design. <p>Demonstrate that on site water storage and detention has been considered in the design, where necessary.</p>	Should consider appropriate transitions; extent to which it respects and enhances neighbourhood character, retains canopy trees, creates opportunities for landscaping and reflects prevailing side setbacks; and layout and appearance of parking areas.



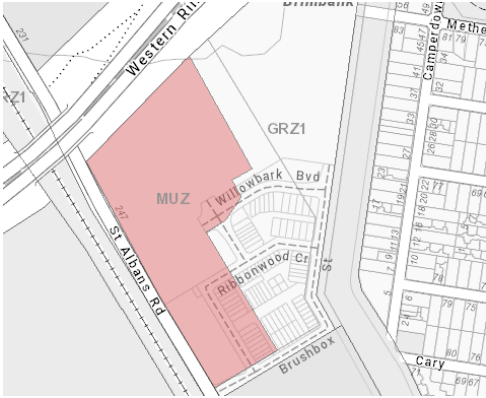

Zone and Schedule	Objectives*	Clause 54 and 55 Requirements	Max. Building Height	Application Requirements	Decision Guidelines
		should have convenient access from a living room.			
32.08 General Residential Zone (GRZ2) Cairnlea Mixed Use Precinct	None specified.	None specified.	13.5m and 4 storeys	None specified.	None specified.
32.09 Neighbourhood Residential Zone (NRZ1) Limited Change Aras (1)	None specified.	<p>A5 & B8: The site area covered by buildings should not exceed 50%.</p> <p>A6 & B9: 30% (permeability)</p> <p>B13: A minimum of 2 medium sized trees of 6-12m (at maturity) should be provided in the front setback.</p> <p>A minimum of 1 small to medium sized tree up to 6m (at maturity) should be provided in private or secluded private open space.</p> <p>Planting to be provided along the length of any driveway.</p> <p>Where new building bulk visually impacts on adjoining dwellings, a landscaped vertical screen should be provided.</p> <p>A17 & B28: An area of</p>	None specified.	<p>A neighbourhood and site description plan (NSD) which must show:</p> <ul style="list-style-type: none"> At least three sites or buildings on both sides of the proposed development, opposite and to the rear of the proposed development. The built form, scale, and character of the area, including front fencing (i.e., height of buildings, front and side setbacks, location and width of vehicle and pedestrian crossovers, vegetation and land topography). Location of open space (i.e., degree of openness at the rear of lots). Architectural and roof styles. A streetscape elevation showing the proposed development in the context of three adjoining dwellings or buildings. <p>A Design Response plan which must demonstrate:</p> <ul style="list-style-type: none"> How the proposed development responds to the characteristics identified in the neighbourhood and site description (NSD) plan and should include a written evaluation of how the features of the 	<ul style="list-style-type: none"> The extent to which the proposed building or works respects and enhances the character of the area. The extent to which the proposed buildings or works retain existing canopy trees and create opportunities for landscaping and adequate space for canopy tree planting. The layout and appearance of areas set aside for car parking, access and egress and the location of any proposed off street car parking. Whether garages and carports are located behind the façade of the proposed development. The extent to which the proposed built form respects prevailing side setbacks, where applicable. Whether a variation to the requirements of part 4.0 would result in a loss of on or off-site amenity.

Zone and Schedule	Objectives*	Clause 54 and 55 Requirements	Max. Building Height	Application Requirements	Decision Guidelines
		<p>60sqm, with one part of the private open space to consist of secluded private open space with a minimum area of 40sqm and a minimum dimension of 5m.</p> <p>Secluded private open space should not be located in the front setback of a dwelling or residential building and should have convenient access from a living room.</p>		<p>neighbourhood identified in the NSD influence the design.</p> <p>Demonstrate that on site water storage and detention has been considered in the design, where necessary.</p>	
<p>32.09</p> <p>Neighbourhood Residential Zone (NRZ2)</p> <p>Limited Changes Areas (2)</p>	None specified.	<p>A5 & B8: The site area covered by buildings should not exceed 50%.</p> <p>A6 & B9: 30% (permeability)</p> <p>B13: A minimum of 2 medium sized trees of 6-12m (at maturity) should be provided in the front setback.</p> <p>A minimum of 1 small to medium sized tree up to 6m (at maturity) should be provided in private or secluded private open space.</p> <p>Planting to be provided along the length of any driveway.</p>	12m	<p>A neighbourhood and site description plan (NSD) which must show, as appropriate:</p> <ul style="list-style-type: none"> – The built form, scale, and character of the area, including front fencing (i.e., height of buildings, front and side setbacks, location and width of vehicle and pedestrian crossovers, vegetation, land topography etc). – Location of open space (i.e., degree of openness at the rear of lots). – Architectural and roof styles. – At least three sites or buildings on both sides of the proposed development, opposite and to the rear of the proposed development. – A streetscape elevation showing the proposed development in the context of three adjoining dwellings or buildings on each side. <p>A Design Response plan which must demonstrate, as appropriate:</p> <ul style="list-style-type: none"> – How the proposed development responds to the characteristics identified in the 	<ul style="list-style-type: none"> – The extent to which the proposed building or works respects and enhances the character of the area. – The extent to which the proposed buildings or works retain existing canopy trees and create new opportunities for landscaping and adequate space for canopy tree planting. – The layout and appearance of areas set aside for car parking, access, and egress, loading and the location of any proposed off street car parking. – Whether garages and carports are located behind the façade of the proposed development. – The extent to which the proposed built form respects prevailing side setbacks, where applicable. – Whether a variation to the requirements of part 4.0 would result in an unacceptable loss of on or off-site amenity. –

Zone and Schedule	Objectives*	Clause 54 and 55 Requirements	Max. Building Height	Application Requirements	Decision Guidelines
		<p>Where new building bulk visually impacts on adjoining dwellings, a landscaped vertical screen should be provided.</p> <p>A17 & B28: An area of 40sqm, with one part of the private open space to consist of secluded private open space with a minimum area of 25sqm and a minimum dimension of 4m.</p> <p>Secluded private open space should not be located in the front setback of a dwelling or residential building and should have convenient access from a living room.</p>		<p>neighbourhood and site description (NSD) plan and should include a written evaluation of how the features of the neighbourhood identified in the NSD influence the design.</p> <p>Demonstrate that on site water storage and detention has been considered in the design, where necessary.</p>	

*Different zones allow for different types of objectives. MUZ schedules allow for 'Objectives', the RGZ allows for specification of 'Design Objectives', the GRZ and the NRZ allow for specification of 'Neighbourhood Character Objectives'. For the purposes of this table, the term 'Objectives' is used to apply to all.

7.3 Analysis of Mixed Use Zone

Location	Observed uses	Indicative image
<p>Victoria Cr, St Albans</p> 	<p>Applies to a range of allied professional offices (e.g., pathology, optometrists) in former dwellings and similar buildings, generally with onsite carparking.</p>	
<p>DDO9: Preference for 4 storey residential development; and 3 storey street wall height with 0m street setback.</p>		
<p>St Albans Rd, Sunshine North</p> 	<p>Applies to a future residential townhouse development site. Expected include residential, commercial, and retail uses</p>	

Location

Observed uses

Indicative image

Fitzgerald Rd, Sunshine West



Applies to a commercial shopping centre, occupied by a supermarket and other retail and hospitality services. Onsite carparking is provided.



Palmer Pde, Derrimut



Applies to a dual subdivision. Existing use is a primary school fronting Capesthorne Dr, with the balance of the land unutilised. Onsite parking is provided.



Street view from undeveloped lot at Palmer Pde (above), and primary school at Capesthorne Dr (below).



Location

Observed uses

Indicative image

Furlong Rd, Cairnlea



High-density residential use with ground level retail and commercial. Carpark provision is internal.



Martin St, Sunshine



Applies to a carpark associated with the Salvation Army adjacent to the lot. A community garden is also present.



Location**Observed uses****Indicative image**

Albert Cr, St Albans



Applies to several residential uses characterised by detached and unit dwellings. Crossovers provide resident carparking whilst existing carparking space in Mitchell St abuts the MUZ.




DDO9: Preference for 4 storey residential development; and 3 storey street wall height with 0m street setback.

Collins St, St Albans



Existing uses are low density residential characterised by detached dwellings, and a pre-school. MUZ lots are flanked by carparking (11 and 17 Collins St) associated with the adjacent commercial centre.



Location	Observed uses	Indicative image
DDO9: Preference for 4 storey residential development; and 2 storey street wall height with variable street setback.		
Calder Fwy, Taylors Lakes	Applies to 69,000sqm of undeveloped land with a 704m frontage to Calder Freeway. Adjacent to Taylors Lake Estate that is characterised by conventional density and residential land uses.	
Melbourne Airport Environs Overlay (Schedule 1): More than one dwelling per lot is prohibited. Permit required to construct a single dwelling regardless of lot size (i.e., above or below 300sqm).		

7.4 Summary of Overlays

Overlay	Where applied in Brimbank	The overlay's influence on housing
Environmental Significance Overlay (ESO)	Applied significant grasslands (ESO1, ESO3, ESO6), areas of geomorphological significance (ESO2) and the Kororoit Creek Corridor (ESO4) and Maribyrnong River Valley (ESO5).	Used to identify areas where development may be affected by environmental constraints. Generally, grassland ESOs don't impact on housing as they don't apply to residential land. The Australian Broadcast Site (zoned SUZ2) however, may have residential potential. Flora and fauna impacts would need to be resolved for this site, as well as impacts on the volcanic eruption points (ESO2).





Overlay	Where applied in Brimbank	The overlay's influence on housing
		<p>ESO5 and ESO4 affect or abut some residential land. Objectives and guidelines are included to ensure development is not visually prominent or intrusive when viewed from the creek/river corridor.</p> <p>It is noted however, that the ESO is technically only applicable where it affects residential land (a very small area), not abutting land. However, the significance of these features should be considered by the development of adjoining land.</p>
Significant Landscape Overlay (SLO)	Applied to the mature canopy trees along Old Calder Highway between Green Gully Road and the Maribyrnong River (SLO1), to the Sunshine Municipal Office Garden area at Wilkinson Street and Alexandra Avenue (SLO2) and to the Maribyrnong River (SLO3).	Used to identify and conserve and enhance the character of significant landscapes. Generally, the SLOs do not apply to residential land. The significance of the abutting landscapes, however, should be considered by the development on adjoining land.
Heritage Overlay (HO)	Applied to several sites throughout the municipality, including residential areas.	<p>Used to conserve and enhance heritage places, and those elements which contribute to the significance of heritage places.</p> <p>The Overlay triggers permits for demolition and alterations (especially external) of housing.</p> <p>Further details are provided in the Neighbourhood Character Influences chapter.</p>
Design and Development Overlay (DDO)	Applied to activity centres and precincts, including St Albans Activity Centre (DDO9), Keilor Village Activity Centre (DDO10), Sunshine Hospital Medical Services Precinct (DDO8), Brooklyn Industrial and Commercial Precinct (DD11), and an area in Sunshine (DDO7). Also applied to various areas impacted by the Western Ring Road (DDO4, DDO6) and areas to be protected from visual intrusion, including along the Maribyrnong River (DDO1) and Taylors Creek (DDO5).	<p>Used to identify area that are affected by specific requirements relating to the design and built form of new developments.</p> <p>Development should respond to the stated objectives in the relevant DDO, and any other requirements specified.</p> <p>The DDOs apply to a mix of land uses, including some residential land, and can have a strong influence on the character of new development.</p> <p>Further details of each DDO are provided in the Neighbourhood Character Influences chapter.</p>

Overlay	Where applied in Brimbank	The overlay's influence on housing
Development Plan Overlay (DPO)	<p>Applied to large and small redevelopment sites throughout the municipality (including residential and non-residential zoned sites), and notably the Plenty Valley Estate (DPO3), the Cairnlea Estate (DPO6), Cairnlea Mixed Use Precinct (DPO4) and Orica Deer Park (DPO16).</p> <p>A full list of DPOs is provided in the Neighbourhood Character Influences section.</p>	<p>Used to identify areas where the form and conditions of future use and development is to be shown on a development plan.</p> <p>Requirement for plans incorporating residential development vary depending on the site, context, and development expectations.</p> <p>Further details are provided in the Neighbourhood Character Influences chapter.</p>
Land Subject to Inundation Overlay (LSIO)	<p>Applied to areas bordering the Maribyrnong River, Taylors Creek, Kororoit Creek and other small scale waterways, with residential zoned land abutting the waterways affected.</p>	<p>Used to identify flood prone land affected by the 1 in 100 year flood, and to ensure that development maintains or improves the waterway protection and floodplain health. In Brimbank, the schedule has not been used to specify any additional objectives or requirements.</p> <p>Where the overlay affects residentially zoned land, a permit is required for many types of buildings and works, to enable an assessment of the potential impacts of flooding, measures required to floodproof development, to mitigate risk and to protect the waterway.</p>
Special Building Overlay (SBO)	<p>Applied to residential areas at risk of flooding from urban drainage in Sydenham, Taylors Lakes, Keilor, St Albans, Deer Park, Sunshine, and Sunshine West.</p>	<p>Used to identify land liable to inundation by overland flows from the urban drainage system, and to ensure free passage of flood waters and protection of waterways. In Brimbank, the schedule has not been used to specify any additional objectives or requirements.</p> <p>The overlay triggers a permit for many types of buildings and works to enable an assessment of the susceptibility of the development to flooding and the effect of development on floodwaters, stormwater, and drainage water.</p>
Public Acquisition Overlay (PAO)	<p>Applied to land along major transport corridors, including Calder Freeway and Calder Park Drive, Airport Drive, Western Ring Road, and scattered parcels in activity centres.</p>	<p>Used to identify land which is proposed to be acquired for a public purpose.</p> <p>The development potential of this land is limited, pending acquisition.</p>

Overlay	Where applied in Brimbank	The overlay's influence on housing
Development Contributions Plan Overlay (DPCO)	DCPO1 applied to most of the Sunshine MeAC. DCPO2 applied to the remainder of the municipality.	Used to identify areas where a contribution will be levied for the provisions of works, services, and facilities. DCPO2 applies to all new development in Brimbank (outside the Sunshine Mae which is subject to its own DCP) to fund community facilities, path, and roads. The levy payable varies by charge area (suburb).
Melbourne Airport Environs Overlay (MAEO)	Applied to a portion of Sydenham Park south of the border with Hume and a significant portion of Keilor Downs to Sunshine North. MAEO1 is applied to the area closer to Melbourne Airport and MAEO2 affects an area that extends further south.	Used to identify land that may be impacted by aircraft noise associated with the Melbourne Airport, and to ensure land use and development is compatible with the operation of the airport and that dwellings incorporate appropriate noise attenuation measures. MAEO1 limits the number of dwellings on a lot to 1 and restricts subdivision that would increase the number of dwellings. MAEO2 restricts dwellings to a maximum of one per 300 square meters.
Neighbourhood Character Overlay (NCO)	<i>Not currently used in Brimbank but relevant to consider</i>	<i>Applicable to specific areas where variations to Clause 54 and 55 standards fail to meet the specific objectives for neighbourhood character, and as such, locally tailored controls are required.</i>

7.5 Strategic Redevelopment Sites (from *Home and Housed*) (images sourced from Near Map).

Site (identified using the red dot)	Zoning and Overlays	Development Status
<div>Robertsons Road, Taylors Lakes</div> <div>A map of the Taylors Lakes area. A red dot marks the site location on Robertson's Road. The map shows surrounding areas like Sydenham and Argardens, and a yellow circle with a train icon indicates a nearby rail station.</div>	<div>Zones:</div> <div>GRZ1</div> <div>Overlays:</div> <div>DCPO2, DPO17</div>	<div>An aerial photograph of the site area, outlined with a red boundary. The area is a residential development with many houses. Street names visible include Robertson's Rd, Lushington Ave, Lushington St, Lushington Cres, Marremano Cres, Wentworth Dr, and Wentworth Cres.</div> <div>As of July 2022: Partially developed.</div>

Site (identified using the red dot)	Zoning and Overlays	Development Status
<p>St Albans Road, Sunshine North</p> 	<p>Zones: GRZ1 and MUZ (dual subdivision)</p> <p>Overlays: DCPO2, DPO15, EAO, HO149</p> <p>Other: Aboriginal Cultural Heritage Note the site is located within the Albion Quarter Precinct that is to be prepared in the coming years</p>	 <p>As of September 2022: Display home has been delivered for the purpose of advertising the future residential estate. Does not appear to have commenced. e.</p>
<p>Ballarat Road/Western Highway, Albion</p> 	<p>Zones: IN1Z</p> <p>Overlays: DCPO2, EAO</p> <p>Other: Aboriginal Cultural Heritage Note the site is located within the Albion Quarter PSP that is to be</p>	 <p>As of September 2022: No signs of redevelopment occurring. The site is industrial with an associated carpark. It is noted extent of existing industrial use extends beyond lot cadastre and designated strategic development site boundary.</p>

Site (identified using the red dot)	Zoning and Overlays	Development Status
	prepared in the coming years.	
<p>Taylors Road, Delahey</p> 	<p><i>Zones:</i> SUZ1 and TRZ2</p> <p><i>Overlays:</i> DCPO2, EAO, ESO1, ESO2</p>	 <p>As of September 2022: Development has not occurred.</p>
<p>Margrave Street, St Albans</p> 	<p><i>Zones:</i> GRZ1, UFZ</p> <p><i>Overlays:</i> DCPO2, DPO9, EAO, SBO</p>	 <p>As of September 2022: Construction has not commenced. However, a disused building has been demolished and removed from the site. The carpark associated with the now-demolished building has also been removed. An internal road link connecting from Margrave St to the south of the site has been removed whilst the extension of Regan St into the site from the north remains.</p>

Site (identified using the red dot)	Zoning and Overlays	Development Status
<p>Copernicus Way/Fisken Way, Keilor Downs</p> 	<p>Zones: C1Z</p> <p>Overlays: DCPO2, DPO2, SBO</p>	 <p>As of September 2022: Dwellings at the north-western portion of the site. . No signs of development occurring elsewhere. Balance of the land is yet to be developed and is used as public open space with a slight grade/incline and is accessible from residential streets and the adjacent commercial centre.</p>
<p>St Albans Road, St Albans</p> 	<p>Zones: IN3Z</p> <p>Overlays: DCPO2, DDO9</p>	 <p>As of September 2022: No signs of redevelopment occurring. Site continues to be used for the purpose of a hospitality venue (St Albans Hotel) and associated car park; recreational venue (St Albans Bingo Centre); and a commercial site (Global Nail Beauty Supplies) and associated carpark. It is noted that internal road upgrades were delivered to St Albans Hotel's carpark in late-2018 which may suggest interest in continuing the existing land use.</p>

7.6 Definitions of Neighbourhood Character Features in Brimbank

Front setbacks

A front setback is the distance between the front property boundary and the front wall of a building. For this Project, front setbacks have been categorised as minimal, moderate, or generous.

Minimal setback – Dwelling is set back approximately 0m–4m from the front property line. Setback distance limits space for landscaping.

Figure 1: Minimal front setback examples



Moderate setback – Dwelling is set back approximately 4m–8m from the front property line. Setback distance allows some space for landscaping.

Figure 2: Moderate front setback examples



Generous setback – Dwelling is set back approximately 8m or greater from the front property line. Setback distance allows ample space for landscaping.

Figure 3: Generous front setback examples



Side setbacks

A side setback is the distance between the side property boundary and the righthand or lefthand edge of a dwelling or building. Side setbacks have been categorised as 'no side setback' (absent), minimal, moderate, or generous.

No side setback – Dwelling is constructed to the side boundary.

Figure 4: No side setback examples



Minimal side setback – Dwelling is set back approximately 0m–2m from the side boundary. Setback distance limits space for landscaping to narrow strips and provides limited space for utilities. There is insufficient space for vehicles to park at the side of the dwelling.

Figure 5: Minimal side setback examples



Moderate side setback – Dwelling is set back approximately 2m–5m from the side boundary. Setback distance allows some space for landscaping and utilities.

Figure 6: Moderate side setback examples



Generous side setback – Dwelling is setback approximately 5m or greater from the side boundary. Setback distance allows ample space for landscaping, utilities, carports and/or vehicle parking.

Figure 7: Generous side setback examples



Fencing

Low fencing creates a sense of openness and provides opportunities for passive surveillance. High fencing gives residents a greater degree of privacy, but it can make a neighbourhood feel uninviting and closed in. This Project categorises fencing in Brimbank as low, medium, or high.

Low fencing – Below knee level (less than 1m in height).

Figure 8: Low fencing examples



Medium fencing – Hip to below eye level (approximately 1m–1.7m in height).

Figure 9: Medium fencing examples



High fencing – Above eye level/head height (approximately 1.7m or greater in height).

Figure 10: High fencing examples



Fencing Permeability

Fencing permeability is the degree to which a person can see through fencing to the other side. This Project describes fencing permeability as being of low permeability, moderate permeability or permeable.

Low permeability – Substantial obstruction of view lines to the property from the street. Fencing typically does not include gaps between fence materials.

Figure 11: Low permeability examples



Moderate permeability – Some obstruction of view lines to the property from the street. Fencing typically includes continuous vertical or horizontal gaps between fence materials.

Figure 12: Moderate permeability examples



Permeable – Large gaps in fencing material results in no obstruction to view lines to the property from the street.

Figure 13: Permeable examples



Landscaping

Landscaping includes trees, shrubs/bushes, flowering plants, grass or lawn and other plantings within the private realm and public realm. Front, side, and rear landscaping is described as:

Should there be a 'hard landscaping' category/should we clarify if this includes hard landscaping?

Minimal landscaping – Low level plantings, limited species variation and/or no canopy tree.

Figure 14: Minimal landscaping examples



Moderate landscaping – Varied amounts and volume of plantings, some species variation with lawn and often a canopy tree.

Figure 15: Moderate landscaping examples



Generous landscaping – High amounts and volume of plantings, species variation possibly with lawn or alternative treatment, and two or more canopy trees.

Figure 16: Generous landscaping examples



Housing Age

Housing age refers to whether the housing is reflective of the original housing of the suburb's era of development, or whether it is newer development. Housing age is categorised as traditional, contemporary, or contemporary infill development.

Traditional – Original housing stock of the suburb or locality.

Note: Heritage dwellings are acknowledged as traditional housing.

Figure 17: Traditional housing stock examples in (left to right) Sunshine, Sunshine West, and Kings Park



Contemporary – New housing development that has replaced traditional housing stock in older suburbs, or has been recently developed in newer suburbs (e.g., Cairnlea, Taylors Lakes, and Derrimut).

Figure 18: Contemporary housing stock examples in (left to right) Keilor Park, St Albans, and Sunshine





Figure 19: Contemporary housing stock examples (left to right) Cairnlea, Taylors Lakes, and Derrimut

Contemporary Infill Development – New housing that is developed on vacant land or has replaced other housing or development. Infill development typically involves an increase in residential density or intensification.

Figure 20: Infill development examples in (left to right) Sydenham, Sunshine, St Albans



Material Quality

Material quality refers to the level of integrity and longevity of building materials used in dwelling construction. Material quality considers the susceptibility of the material/construction to defects such as water damage and sun damage.

Figure 21: Example of poor-quality, water damaged material (left) and higher quality material (right)



Lot sizes

Lot size impacts the possible scale and form of development and determines the garden area requirement in the NRZ and GRZ. . In this Project, lot sizes are categorised as:

Very small lot size – Lots less than 300sqm.

Small lot size – Lots 300–500sqm.

Moderate lot size – Lots 500–800sqm.

Large lot size – Lots 800–2000sqm or greater.

Very large lot size – Lots greater than 2000sqm.

7.7 Analysis of DPOS

DPO	Name of area	Zones within the DPO	Status
DPO2	Keilor Downs Plaza Shopping Centre	C1Z	Partially developed. A development plan has been approved, to support a mixed-use development including a sizeable residential component.
DPO3	River Valley Estate	Primarily GRZ1, with some C1Z, NRZ2 and PPRZ	Being developed in stages, in accordance with the approved 2002 Development Plan. Comprises a mixture of single dwellings and townhouses, with permits issued for apartment style development. Dwellings in the estate tend to have a higher site coverage than the dwellings in the neighbouring Sunshine North.
DPO4	26S Glenbrook Avenue and 147A Cairnlea Drive, Cairnlea	Primarily GRZ2, with portions of C2Z, PUZ7 and PPRZ	Applies to the final stage of the Cairnlea development. It is subject to a Planning Scheme Amendment request, which seeks to remove the DPO4 and apply the Comprehensive Development Zone – Schedule 3 (CDZ3). The Government Land Standing Advisory Committee ran a 12-day Public Hearing in June 2022 to consider the Amendment and will prepare a report for the Minister for Planning to consider.
DDPO5	Land at the north west corner of Kings Road and Taylors Road, Delahey	C1Z	Delahey Village Neighbourhood Activity Centre. No residential component in the approved Development Plan.
DPO6	Cairnlea Estate – Former Albion Explosives Factory Site	Primarily NRZ1, with some RGZ1, GRZ1, MUZ, C1Z, PUZ2, PPRZ and PCRZ	Guided the development of Cairnlea Estate, a large, primarily residential development on the site of the former Albion Explosives Factory. Its features include: a variety of housing typologies (including apartments, townhouses, and detached dwellings), a landscape response that incorporates natural features of the subdivision layout, and consistent front setbacks.

DPO	Name of area	Zones within the DPO	Status
DPO7	10 McKechnie Street, St Albans	RGZ1	Guided the development of the new St. A estate. St. A is a 6.5 hectare masterplanned estate that consists of 254 townhouses of various types. Contained within the site is 3,200m ² of central public open space and a series of pocket parks.
DPO8	110V and 112-116 Anderson Road, Sunshine	Primarily GRZ1 with some MUZ	Permit issued, but development not commenced. The Development Plan approved provides for 30 dwellings with a mix of 2, 3 and 4 bedrooms and adheres to requirements relating to building height, setbacks, landscaping and pedestrian access to H.V. McKay Memorial Gardens and the nearby heritage footbridge.
DPO9	51 & 63A Regan Street, St Albans	GRZ1 and UFZ	Development Plan has not been prepared. The DPO requires a range of lot sizes, densities, and typologies to achieve at least 200 dwellings on the site; public open space; and ESD initiatives.
DPO13	Sunshine Golf Course (130 Fitzgerald Street) and the Masonic Centre (1A Ralph Street), Sunshine West	GRZ1 and NRZ1	Influenced various neighbourhood character features, particularly building heights and setbacks. Specific setback distances required by DPO13 successfully integrate newer development with traditional housing stock in surrounding areas by reducing visual bulk and providing separation between dwellings.
DPO14	South West Industrial Park	IN1Z and PUZ1	Not residential.
DPO15	Former City West Water Site (247-251 St Albans Road, Sunshine North)	GRZ1 and MUZ	Development plan approved and permit issued for development.
DPO16	Orica Deer Park Development Plan	C2Z	Not residential. No approved development plans.
DPO17	95 Station Road and 814 Ballarat Road, Deer Park; 27 Driscolls Road, Kealba; 32A Green Gully Road, Keilor; 18-24 Robertsons Road and 16-28 McCubbin Drive, Taylor Lakes	RGZ1 and PUZ2; GRZ1; NRZ1; GRZ1	Development plan approved and permits issued. Discussed below.

7.8 Analysis of DDOs

DDO	Name of area	Zones within the DDO	Status
DDO1	Skyline areas	GRZ1, NRZ2, PPRZ	Covers skyline areas along the Maribyrnong River in Sunshine North. Seeks to protect areas along the river frontage from visual intrusion by residential development. Despite this, development associated with the River Valley Estate (refer DDO3 discussion) is visually prominent.
DDO4	Lots 6 & 7, Fitzgerald Road, Sunshine West, adjacent to the Western Ring Road	NRZ1	Applies to land in Sunshine West adjacent to the Western Ring Road. Seeks to ensure that development incorporates noise attenuation measures to minimise traffic noise impacts. The area has been developed with detached dwellings, although a few lots remain vacant. Contains Sirius College – Sunshine, Ibrahim Dellal Campus). Proposed parcel at the northern end.
DDO5	Land located between Taylors Creek and properties fronting Patterson Avenue & Campaspe Crescent	NRZ1	Developed with detached housing. Applies to approximately 30 lots adjoining Taylors Creek in Keilor. Seeks to limit visual intrusion caused by inappropriate development. Design objectives encourage single storey development with pitched roofs, to protect the skyline when viewed from Taylors Creek.
DDO6	Land adjoining McIntyre Road between Western Highway and the Western Ring Road, North Sunshine	GRZ1, IN1Z, C1Z	Applies to commercial, residential, and industrial areas adjoining McIntyre Road between the Western Highway and the Western Ring Road in Sunshine North. Seeks to provide for high quality, contemporary design and minimise traffic conflicts between local residential traffic and through traffic.
DDO7	Land located at 79 Wright Street Sunshine	Primarily NRZ1, with some PPRZ	Applies to 79 Wright Street, Sunshine, adjoining Kororoit Creek. Supports a site responsive design that enhances neighbourhood character and the environmental values of Kororoit Creek. Design objectives have been generally implemented. Dwellings are separated from traditional dwelling stock along the western boundary and set back from Kororoit Creek.
DDO8	Sunshine Hospital Medical Services Precinct	RGZ1, GRZ1, SUZ1	Applies to the Sunshine Hospital Medical Services Precinct. Establishes a preferred character of 3 storeys for Furlong Road and Majorca Street and 1 to 2 stores along St Albans Road/St Albans South. Existing residential character is single storey detached housing.

DDO	Name of area	Zones within the DDO	Status
DDO9	St Albans Activity Centre	Mostly RGZ1, with some GRZ1, C1Z, MUZ, IN3Z, PPRZ, PUZ2 and PUZ6	Applies to the St Albans Major Activity Centre, which is currently developed with residential and commercial areas, of mostly 1 to 2 storeys. Seeks to ensure that residential development minimises its impact on existing dwellings, does not cause undue overshadowing and that associated fencing does not dominate the street and restrict passive surveillance. More specific objectives for each precinct establish preferred setbacks and pedestrian connections. DDO9 also contains a map specifying preferring maximum heights for each part of the activity centre and nearby residential precincts.
DDO10	Keilor Village Activity Centre	C1Z, GRZ1	Applies to the Keilor Village Activity Centre, which is currently developed with 1–2 storey residential and commercial. Seeks to facilitate high quality development that is respectful of the area's character and history and that enhances the appearance and connectivity of the village. Specifies that residential development on upper levels of retail development should integrate with the street and that commercial development should respect the scale and privacy of neighbouring residential areas. There is a preferred maximum building height of 2 storeys for the commercial strip.
DDO11	Brooklyn Industrial and Commercial Precinct	Primarily IN1Z with some C2Z and PUZ1	Not residential.

7.9 Analysis of Residential Zone Schedules

Clause 54/55 Requirement	Schedule variation	Commentary
Minimum Street Setback (A3 and B6)	Ground level and level 1 should be set back the average of the adjoining lots	This variation does not differ greatly from the base standards set out in ResCode. By using the average of existing setbacks, the variation is unlikely to support substantial change, as intended by the zone, and instead will reinforce existing patterns of development.
Site coverage (A5 and B8)	The site area covered by buildings should not exceed 70%	This variation allows for higher site coverage than the base Standard (60%), which is consistent with the expectation for more intensive development.
Permeability (A6 and B9)	None specified	The base standard of 20% applies. This may be difficult to achieve in the context of the elevated 70% site coverage.
Landscaping (B13)	A minimum of 1 medium sized tree of 6-12 m (at maturity) should be provided in the front setback. Planting to be provided along the length of any driveway. Where new building bulk visually impacts on adjoining dwellings, a landscaped vertical screen should be provided.	This variation increases tree planting and landscaping requirements. It aligns with the street setback objectives but can be a limitation on increased density. VCAT has recognised the tension between aspirations for increased canopy coverage, and increased density. Council planners report that the requirement for vertical screens is not achieving desired outcomes and planting often struggles to survive in the limited space available.
Side and rear setbacks (A10 and B17)	None specified	This standard can limit the height and intensity of development on small to average sized lots because upper floors are often unable to achieve the required setbacks and have sufficient usable floor space. Consolidation of lots is generally required to achieve heights above 2–3 storeys and comply with B17. While lot consolidation is encouraged by the RGZ1 is often difficult to achieve in practice.
Walls on boundaries (A11 and B18)	None specified	Deferring to a standard that relies on reference to existing built form (especially where that existing built form comprises single storey dwellings) is unlikely to support substantial change in a meaningful way.
Private open space (A17 and B28)	An area of 15-40sqm at ground level with convenient access from a living room, or A balcony	This variation reduces the requirement for ground floor open space while increasing the requirement for balconies. The reduced ground floor POS requirement supports more intensive development, while the varied balcony requirement seeks to improve amenity for residents in

Clause 54/55 Requirement	Schedule variation	Commentary
	of 8-12sqm with a minimum width of 2 m and convenient access from a living room.	higher density development. It is understood that, in general, new development achieves the lower end of the specified range for ground floor POS.
Front fence height (A20 and B32)	None specified	A20 and B32 establish a maximum front fence height of 2m for streets in a Transport Zone 2 and 1.5m for all other streets.

Table 1: GRZ1 ResCode variations analysis

Clause 54/55 Requirement	Schedule variation	Commentary
Minimum Street Setback (A3 and B6)	None specified	VCAT has allowed reductions to the street setback requirement where it reflects the pattern of surrounding setbacks.
Site coverage (A5 and B8)	None specified	
Permeability (A6 and B9)	None specified	The 20% requirement can be difficult to achieve where extensive areas of the site are being used for vehicle access (a common feature of t multi-unit developments in the GRZ1.
Landscaping (B13)	A minimum of 1 medium-sized tree of 6-12 m (at maturity) should be provided in the front setback. A minimum of 1 small to medium sized tree up to 6 m (at maturity) should be provided in private or secluded private open space greater than 25sqm in area. Planting to be provided along the length of any driveway. Where new building bulk visually impacts on adjoining dwellings, a landscaped vertical screen should be provided.	
Side and rear setbacks (A10 and B17)	None specified	This standard could be a limitation on development to 3 storeys (as permitted by the zone) on narrow lots, where upper floors are unable to achieve the required setbacks and have sufficient usable space. There is limited direction on Council's expectations for setbacks of dwellings at the rear of lots.
Walls on boundaries (A11 and B18)	None specified	
Private open space (A17 and B28)	An area of 40sqm, with one part of the private open space to consist of secluded private open space with a minimum area of 25sqm and a minimum dimension of 4m. Secluded private open space should not be in the front setback of a dwelling or residential building and should have convenient access from a living room.	VCAT has allowed SPOS in the front setback when deemed appropriate in the context of the specific site characteristics.
Front fence height (A20 and B32)	None specified	

Table 2: NRZ1 ResCode variations analysis

Clause 54/55 Requirement	Schedule variation	Commentary
Minimum Street Setback (A3 and B6)	None specified	The base variation applies, which would generally maintain the existing pattern of setbacks. Front setbacks, or marginal reductions to front setbacks have generally been observed on infill development.
Site coverage (A5 and B8)	The site area covered by buildings should not exceed 50%.	This variation from the base standard of 60% should result in greater spaciousness around new development, and enhanced space for landscaping. A review of sample developments indicates that 50% is achievable, however most of the balance of the site is generally used for driveway access, not landscaping.
Permeability (A6 and B9)	30%	This variation from the base standard of 20% is consistent with the desire to increase spaciousness and landscaping. However, based on a review of sample developments, it does not appear that this higher standard is being achieved. This is largely due to the predominant pattern of multi-unit development, where a long impermeable driveway along the boundary is used to access units, leaving limited space for landscaping. In addition, a review of aerial photography indicates that private open spaces are often paved or covered (this may occur sometime after the initial development), further reducing permeability.
Landscaping (B13)	A minimum of 2 medium sized trees of 6–12m (at maturity) should be provided in the front setback. A minimum of 1 small to medium sized tree up to 6m (at maturity) should be provided in private or secluded private open space. Planting to be provided along the length of any driveway. Where new building bulk visually impacts on adjoining dwellings, a landscaped vertical screen should be provided.	This variation only applies to more than one dwelling on a lot and provides greater specification for tree planting and landscaping than the base standard, and the GRZ and RGZ areas. It appears from a review of samples, that space is being provided (mainly due to front setback and open space requirements), but that the canopy trees at the scale required are not always present. This is particularly the case for trees in private open space, where subsequent homeowners may have paved or covered their courtyards.
Side and rear setbacks (A10 and B17)	None specified	The base standard applies, which requires a tiered setback depending on height of the proposed building. The absence of a variation also provides no direction on Council's expectations for setbacks (and as a result, heights) of dwellings at the rear of lots.
Walls on boundaries (A11 and B18)	None specified	The base standard applies, which limits boundary walls based on the length of lot. This is consistent with a desire to maintain a similar pattern of development.
Private open space (A17 and B28)	An area of 60sqm, with one part of the private open space to consist of secluded private open space with a minimum area of 40sqm and a minimum dimension of 5m. Secluded private open space should not be in the front	Elevated expectations for open space are generally resulting in more spaciousness around units, as compared to unit developments in the RGZ or GRZ, as indicated by a review of the sample developments.

Clause 54/55 Requirement	Schedule variation	Commentary
	setback of a dwelling or residential building and should have convenient access from a living room.	
Front fence height (A20 and B32)	None specified	The base standard applies (2m for streets in a Transport Zone 2 and 1.5m for all other streets). Where low or no fencing is a contributing feature of neighbourhood character, a variation may be suitable.

7.10 Summary of Character Type Observations from the Draft Neighbourhood Character Study (2019)

Character Type and Zone	Description
<p>Character Type 1 identified areas in the RGZ, in and around key activity centres and transport nodes. These areas are nominated as appropriate for accommodating change, particularly in the form of higher density housing.</p>	<p>In the southern and central parts of the municipality, the areas are characterised by predominantly single to double storey detached dwellings from the 1950s-1970s, interspersed with more recent redevelopments of multi-storey and multi-dwelling developments. Block sizes within this Character Type are generally the most varied, demonstrating a history of subdivision and redevelopment over time. The original large backyards of many homes (a result of relatively deep blocks of 70m or so) have been subdivided and developed for a second or third dwelling on the lot, accessed via a side driveway.</p> <p>Streetscapes are varied in quality, with a mixture of landscaping treatments comprising grassed nature strips, and diverse street tree species. Key streetscape detail is found within the distinctive street patterns (comprising combination of linear and radial streetscapes around a central open space feature, such as Albert Crescent in St Albans).</p> <p>In the northern parts of the municipality, including around Watergardens, the predominant housing forms are more recent, streetscape patterns are less linear, streetscapes offer more enhanced landscaping, and housing forms include both detached housing and concentrated areas of attached units/townhouses.</p> <p>Fencing treatments are generally low or visually permeable, but are highly diverse, with little consistency. Street setbacks are generally consistent within back streets at approximately 5-7m, however are much more varied on main streets (where residential housing forms are more diverse, and where they mix with more commercial land uses).</p>
<p>Character Type 2 identified areas of GRZ where the character is consistent but is undergoing a transition consistent with an 'incremental change' zone.</p>	<p>This Character Type exhibits street patterns that are generally gridded. Lots from the original subdivision pattern are generous, ranging from 500m² to 650m², with some larger lots up to 1,000m². Lots are generally deeper than conventional lots in other parts of the municipality (for example, in the northern Character Types). Side setbacks are generous on one side, to provide for vehicle access to garages/carports located to the rear. Houses generally do not take up the full area of a lot, and rear gardens are generous, often comprising outbuildings.</p> <p>Built form generally dates from the 1950s to 1990s and comprises single or double storey detached housing of weatherboard, brick or rendered brick. Streets comprise standard grassed nature strips with low scale street tree planting (i.e., small-medium sized trees) of varying species. Front setbacks are generally consistent in each street, from 5-7m, with low scale front gardens (i.e., small-medium bushes and trees).</p> <p>Areas in the southern part of the municipality that are undergoing transition tend to include units and townhouses that make use of the generously proportioned lots, with access to units via a driveway down one side of the lot (or centrally located on larger developed lots). Redevelopment in the northern parts of the Character Type is limited, likely because the housing stock is relatively new.</p>
<p>Character Type 3 identified GRZ areas that comprise relatively recent development (post 2000s).</p>	<p>In Character Type 3, lot sizes and street patterns vary depending on the estate. In Sydenham, streets are gridded, and lots range from 400-600m². Around Watergardens, in Keilor Plains and Taylors Lakes, street patterns are curvilinear and lot sizes are larger, generally 650-800m².</p> <p>Housing forms comprise single and double storey detached housing of more contemporary designs. Front setbacks are generally consistent (4-5m), and side setbacks are minimal; the area is characterised by large houses that are built almost across the entire width of the lot.</p> <p>Front yards are well landscaped, and front fencing is generally absent. Garages tend to be a dominant feature of the front building façade.</p> <p>Redevelopment in this Character Type is limited, likely because the housing stock is relatively new. Street trees tend to be of more substantial scale in this Character Type than in the southern parts of the municipality, but of varied species.</p>
<p>Character Type 4 applies to Keilor Village, which is zoned</p>	<p>The area is bounded by the Calder Freeway has influenced the character of the area – the freeway alignment has created several irregular shaped lots with housing backing on to the freeway. The precinct wraps around the Joe Brown Recreation Reserve, with a combination of housing fronting onto and backing onto the reserve.</p>

Character Type and Zone	Description
<p>GRZ and exhibits unique characteristics.</p>	<p>The area can be described as landscape dominated as it comprises wide streetscapes, with broad lawn nature strips and large canopy trees. Dwellings are large, of 1–2 storeys, detached and located on large lots of 500 to 1000m². Houses (and associated backyard treatments, such as swimming pools), occupy much of the block, and houses are generally built across the full width of the block, with small side setbacks. As such, high site coverage is considered a consistent character element, and there is limited opportunity for infill development in the form of additional dwellings to the rear of existing dwellings. Redevelopment in the area has taken the form of townhouse style development on larger lots and corner lots and redevelopment in the form of one for one replacement.</p> <p>Architectural styles range from 1970s brick veneer to contemporary brick dwellings, with some demonstrating historical architectural allusions. Dwellings are generally highly articulated with large windows to capture views and a mix of grand building forms and styles.</p> <p>Front and side fencing vary, with no fencing in areas, and some high (approximately 1.5-1.8m), fencing in other areas. The combination of wide landscaped streetscapes, large front setbacks (8-10m) and little to no fencing creates a sense of openness. The topography of the area is undulating, and as such, housing on the low side of streets is often set below street level, while housing on the high side is elevated with visible retaining walls and steep driveways.</p> <p>Front yards tend to be highly landscaped, with formal gardens and large trees and shrubs.</p>
<p>Character Type 5 applies to the River Valley Estate in Sunshine North, which is zoned GRZ and exhibits unique characteristics.</p>	<p>The River Valley estate land zoned GRZ undergoing development and therefore the character of the area is still emerging.</p> <p>The future character of the River Valley Estate is guided by the River Valley Estate Development Plan 2002 (approved by Council) which establishes a proposed subdivision layout that provides development outlook to the Maribyrnong River and various open space areas.</p> <p>The land is undulating, with steep inclines in places. The River Valley Estate Development Plan provides a design response at a subdivision level to address slope (i.e., alignment of roads, minimum lot sizes etc). Housing forms must be in accordance with the River Valley design guidelines that are listed on the title of each lot. The design guidelines seek to ensure that built form responds to the topography of the land and for low, permeable front fencing. Given the topography, benching of lots and use of retaining walls will be a defining characteristic of the area.</p>
<p>Character Type 6 applies to NRZ land in older parts of Brimbank, where change is limited to due to heritage constraints.</p>	<p>These precincts are generally grouped together given they are a similar era of development; 1900s to the 1970s. Dwellings predominantly consist of single storey detached brick, rendered concrete or weatherboard dwellings on 500-800m² lots, with some 1000m² lots. Dwellings are mostly constructed of light finishes and display various housing styles such as Edwardian, Federation and California Bungalow. Along Glengala Road there are areas of consistent red brick single detached dwellings, which contributes to a unique built form and sense of intact architectural character.</p> <p>Specific precincts consist of HOs that seek to protect heritage elements, which contribute to the overall neighbourhood character of the area.</p> <p>These precincts consist of several very noticeable new infill developments. New infill developments include townhouses and units, some of which present as single detached dwellings from the street, while others present as attached double storey townhouses. Front setbacks are generally consistent (approximately 5 to 10m). Some dwellings have less than 5m setbacks, which disrupt the streetscape rhythm. Front garden treatments and streetscape quality vary from low scale plantings (i.e., bushes and shrubs) to canopy trees. Areas consist of permeable front fences of various heights and are of brick, wood, or a metal finish. Garages and carports are generally set back from the dwelling façade and do not dominate the streetscape.</p>
<p>Character Type 7 identified broad areas of NRZ, where limited change is proposed due to the remoteness of the area from transport and services.</p>	<p>This Character Type grouped together precincts of similar era of development (generally from the 1970s to 2000s). Existing housing types vary, with 1–2 storey attached and detached dwellings the predominant type, but with small-lot housing in the form of townhouses emerging in places. As such, lot sizes range from less than 300m² to 1700m².</p> <p>Higher site coverage and narrow side setbacks contribute to a built form dominated character. Dwellings generally have a higher site coverage compared to Character Types representing older eras of development and consist of narrow side setbacks with some walls on boundaries. Front setbacks of developments built in the 1970s to 1990s conform to approximately 5-7m, while those built in the 2000s have shorter setbacks of approximately 3-4m.</p>

Character Type and Zone	Description
	Single or double attached garages, which are in line with or forward of the dwelling façade are common. Precincts vary in front fence treatments. Developments within the 1990s to 2000s generally lack front fences, which assists in softening the built form dominated character. Where front fences are constructed, (predominantly within areas built in the 1980s), these are generally low and/or permeable. Some higher front fences are evident in some areas, which disrupt the streetscape rhythm. 2000s era developments front public open spaces and include balconies providing active interfaces.
Character Type 8 applies to a discrete area in Keilor, which is zoned NRZ and exhibits unique characteristics.	A small Character Type comprising dwellings along Petrik Drive, displaying a landscape dominated character and distinct subdivision pattern of large lots ranging from 1400 to 2700m ² . The area is characterised by slope responsive built form and highly vegetated streetscapes consisting of canopy trees and well-maintained and manicured front gardens with mature vegetation. The area has varied architectural styles and roofs, with some dwellings displaying historical allusions (e.g., Queen Anne) or contemporary dwellings with flat roofs and neutral finishes (i.e., greys and whites). Dwellings are generally highly articulated with large windows. Garages tend to be discretely located behind the front façade of the dwelling. The absence of fencing contributes to the spacious open setting and landscape dominated character. Where fencing exists, it tends to disrupt the streetscape rhythm.
Character Type 9 applies to a discrete area in Keilor, which is zoned NRZ and exhibits unique characteristics.	<p>This Character Type is landscape dominated as reflected in the slope responsive built form and highly vegetated streetscapes consisting of canopy trees and well-maintained manicured front gardens. The area is characterised by 1–2 storey detached dwellings on a range of lots from 300 to 3900m². However, most lots are 500 to 650m². Architectural styles range from 1970s brick veneer to contemporary brick dwellings, with some demonstrating historical architectural allusions (e.g., incorporating Queen Anne features into the facade).</p> <p>Dwellings are generally highly articulated with large windows and a mix of grand building forms and styles. Front fences are generally constructed of various types and materials. Dwellings often lack front fences, which contributes to a sense of spaciousness. Where front fences exist, these are generally low and/or permeable, which contribute to the spacious garden setting. Garage and carport treatments vary but generally do not dominate the streetscape. Front setbacks vary between 5-10m. There are a limited number of dwellings with walls on boundaries along garage walls, which disrupt the streetscape and built form rhythm.</p>
Character Type 10 applies to the River Valley Estate in Sunshine North, which is zoned NRZ and exhibits unique characteristics.	<p>Contemporary development on sloping lots that are predominantly 400 to 650m² in size. Landscape features such as the Maribyrnong River, the Quarry Lake and indigenous canopy trees contribute to the landscape character of the precinct. Steps and retaining walls are key features of the River Valley Estate given the topography.</p> <p>The area is generally built form dominated with narrow side and front setbacks, which contribute to the lack of front gardens and vegetation within private lots. Dwellings are generally between 1-3 storey single detached dwellings with varying roof styles consisting of tiled hipped and flat roofs. Dwellings are generally highly articulated with large windows. Balconies and neutral to dark tones such as white, grey, and black are common. Generally, there is no front fencing. Where front fences exist, these vary in height from low to high and are constructed of rendered concrete or metal. The area comprises consistent street tree plantings.</p>
Character Type 11 applies to an area in northern Brimbank, which is zoned NRZ and identified for limited change.	<p>This Character Type is characterised by large scale single to double storey dwellings on large lots predominantly ranging from 500 to 2600m², which contribute to its built form dominated character. Narrow side setbacks of approximately 2m or less and walls on boundaries are common.</p> <p>Driveways and single to double attached garages, which are in line with or forward of the dwelling façade are common. The large scale built form is softened by well-maintained and highly vegetated front gardens consisting of low scale plantings. Vegetated front gardens, consistent street tree plantings and the absence of front fencing assist in softening the built form character and contributes to a spacious garden setting.</p> <p>Shorter streets such as courts generally lack footpaths and are narrower in width. Dwellings display various roof styles such as tiled hip, gable, flat and shed roofs. Architectural styles and materials typically consist of red brick or rendered concrete with light finishes such as cream or white. Some dwellings demonstrate historical architectural allusions (e.g., incorporating Queen Anne features into the facade).</p>

7.11 Major Redevelopment Sites with Apartments

Address	Suburb	Apts	Street type	Zone	Overlay(s)	Nearby attractions (walking distance)
21A Foundry Rd	Sunshine	229	Inner activity centre connector road (through large parking lots)	ACZ1	EAO, DCPO1	Albion Station (11 min); Sunshine Station (14 min); Sunshine Marketplace (1 min); Sunshine Plaza Shopping Centre (7 min); local cafes and restaurants (5 min); Victoria University: Sunshine Campus (6 min)
265 Duke St	Sunshine North	176	Connector road through an undeveloped area	C1Z	DPO3, DCPO2	Duke Street Reserve (8 min); Maribyrnong River (11 min); local shops, services and restaurants (7–10 minutes)
15-19 Service St	Sunshine	120	Local road (branching off a high street)	ACZ1	EAO, SBO, DCPO1	Sunshine Station (10 min); Bus routes (216, 220, 400, 408, 420, 422, 426, 427, 428, 429, 456, 471, 903, 941, 942) (6 min); Sunshine Plaza Shopping Centre (3 min); Sunshine Marketplace (5 min); local shops, services and restaurants (3-5 min); Sunshine Leisure Centre (3 min); Sunvale Community Park (3 min); childcare centre (5 min)
439-443 Ballarat Rd	Sunshine	75	Arterial road	ACZ1	EAO, DCPO1	Albion Station (17 min); Bus routes (215, 220, 941, 942) (7 min); Dempster Park (7 min); Victoria University: Sunshine Campus (2 min); childcare centres (3–10 min); aged care facility (11 min); Sunshine Marketplace (15 min); Sunshine Plaza (15 min)
342 Sydenham Rd	Sydenham	74	Connector road	RGZ1	DCPO2	Watergardens Station (7 min); Bus routes (419, 420, 421, 425, 476) (7 min); Watergardens Shopping Centre (20 min); Rose Hedge Reserve and playground (9 min); Profita Avenue Reserve (12 min); childcare centre (2 min); aged care facility (2 min)
13 West Esplanade	St Albans	55	Local road	RGZ1	DDO9, DCPO2	St Albans Station (5 min); Bus routes (408, 418, 419, 421, 423, 424, 425) (5 min); West Esplanade Reserve and Playground (1 min); McKechnie Reserve (7 min); shops, services and restaurants (5–10 min); St Albans Primary School (5 min)
19 Albert Crescent	St Albans	53	Local road	RGZ1	DDO9, DCPO2	St Albans Station (8–10 min); Bus routes (408, 418, 419, 421, 423, 424, 425) (8-10 min); West Esplanade Reserve and Playground (3 min); McKechnie Reserve (10 min); shops, services and restaurants (8–12 min); St Albans Primary School (4 min)
22-24 Talmage St	Albion	46	Local road	GRZ1	HO77, DCPO2	Albion Station (7 min); Bus routes (426, 456) (4 min); Sunshine Marketplace (10–15 min); Barclay Reserve (3 min); childcare centre (6 min)

Address	Suburb	Apts	Street type	Zone	Overlay(s)	Nearby attractions (walking distance)
32-36 Sun Crescent	Sunshine	44	Connector road	ACZ1	EAO, DCPO1	Sunshine Station (5 min); Bus routes (216, 220, 400, 408, 420, 422, 426, 427, 428, 429, 456, 471, 903, 941, 942) (10 min); shops, services and cafes (5–15 min); Sunshine Marketplace (10 min); Chaplin Reserve (5 min); Kororoit Creek Trail (5 min); RT Pollard Gardens (6 min); Sunshine Primary School (10 min); Sunshine Secondary College (7 minutes)
13 Marsden Crescent	St Albans	43	Local road	RGZ1	DDO9, DCPO2	St Albans Station (5 min); Bus routes (408, 418, 419, 421, 423, 424, 425) (5 min); shops, services and cafes (5–10 minutes); McKechnie Reserve (4 min); Errington Reserve (7 min); Rita Street Reserve (14 min)
541-547 Melton Hwy	Sydenham	36	Connector road	GRZ1	DCPO2	Watergardens Station (18 min); Bus routes (425, 460, 462, 463, 943) (4 min); Watergardens Shopping Centre (18 min); local shops, services and restaurants (4 min); aged care facility (8 min); childcare centre (10 min); Sydenham Hillside Primary School (14 min)
40-42 Glendennington St	St Albans	33	Local road	RGZ1	DDO9, DCPO2	St Albans Station (6 min); local restaurants, stores and services (2 min); McKechnie Reserve (6 min); Rita Street Reserve (8 min); Protected Native Grassland Reserve (8 min); Victoria University: St Albans Campus (17 min); St Albans Primary School (9 min)
64-66 Station Pl	Sunshine	29	Connector road (in activity centre)	ACZ1	DCPO1	Sunshine Station (2 min); Bus routes (216, 220, 400, 408, 420, 422, 426, 427, 428, 429, 456, 471, 903, 941, 942) (1 min); shops, cafes and restaurants (1 min); Sunshine Shopping Plaza (10 min); Chaplin Reserve (12 min); K Wheelahan Gardens (9 min); Sunshine Primary School (7 min)
23 Victoria Crescent	St Albans	27	Local road	C1Z	DDO9, DCPO2	St Albans Station (6 min); Bus routes (418, 421) (3 min); shops, services and restaurants (3–5 min); St Albans Primary School (6 min); St Albans Secondary College (14 min); Huart Reserve (3 min); Errington Reserve (10 min); McKechnie Reserve (10 min)
36 East Esplanade	St Albans	25	Connector road	C1Z	DDO9, DCPO2	St Albans Station (6 min); Bus routes (418, 421) (5 min); shops, services and restaurants (3–5 min); St Albans Primary School (5 min); St Albans Secondary College (14 min); Huart Reserve (1 min); Errington Reserve (10 min); McKechnie Reserve (9 min)
87-91 Main Rd W	St Albans	10	Connector road	C1Z	DDO9, DCPO2	St Albans Station (4 min); Bus routes (424, 425) (3 min); shops, services and restaurants (1–5 min); St Albans Primary School (9 min); St Albans Secondary College (12 min); Victoria University: St Albans Campus (17 min); McKechnie Reserve (6 min); Errington Reserve (8 min); Protected Native Grassland Reserve (10 min)

Address	Suburb	Apts	Street type	Zone	Overlay(s)	Nearby attractions (walking distance)
21 Albert Crescent	St Albans	19	Local road	RGZ1	DDO9, DCPO2	St Albans Station (8 min); Bus routes (408, 418, 419, 421, 423, 424, 425) (8 min); West Esplanade Reserve and Playground (3 min); McKechnie Reserve (10 min); shops, services and restaurants (8–12 min); St Albans Primary School (3 min)
115 Main Rd W	St Albans	16	Connector road	RGZ1	DDO9, DCPO2	St Albans Station (5 min); Bus routes (424, 425) (1 min); shops, services and restaurants (1–5 min); St Albans Primary School (9 min); St Albans Secondary College (14 min); Victoria University: St Albans Campus (19 min); McKechnie Reserve (7 min); Errington Reserve (10 min); Protected Native Grassland Reserve (9 min)
507 Ballarat Rd	Albion	15	Arterial road	ACZ1	DCPO1	Albion Station (2 min); Bus routes (426, 456) (1 min); Sunshine Marketplace (11 min); Albion Primary School (4 min); Barclay Reserve (9 min); Victoria University: Sunshine Campus (13 min); childcare centre (12 min)
21 Station PI	Sunshine	14	Local road	GRZ1	DCPO2	Sunshine Station (3 min); Bus routes (216, 220, 400, 408, 420, 422, 426, 427, 428, 429, 456, 471, 903, 941, 942) (4 min); Sunshine Plaza Shopping Centre (13 min); Sunshine Marketplace (11 min); local shops, services and restaurants (8–10 min); Dickson Street Reserve (8 min); K Wheelahan Gardens (9 min); Sunshine Leisure Centre (8 min); Sunshine Primary School (10 min); childcare centre (12 min); aged care (6 min)
12-14 George St	Sunshine	12	Local road	ACZ1	DCPO1	Sunshine Station (10 min); Bus routes (216, 220, 400, 408, 420, 422, 426, 427, 428, 429, 456, 471, 903, 941, 942) (7 min); Sunshine Plaza Shopping Centre (4 min); Sunshine Marketplace (5 min); local shops, services and restaurants (4–5 min); Sunvale Community Park (3 min); Sunshine Leisure Centre (3 min); childcare centre (5 min); aged care centre (5 min)
9 Pecks Rd	Sydenham	11	Local road	RGZ1	DCPO1	Watgardens Station (8 min); Bus routes (421, 425, 460, 461, 476, 943) (9 min); Watgardens Shopping Centre (13 min); aged care facility (5 min); childcare centre (1 min); Sydenham Hillside Primary School (15 min); Stagecoach Reserve (9 min)
104-106 Phoenix St	Sunshine North	10	Local road	RGZ1	SBO, DCPO2	Albion Station (12 min); Bus route (215, 903, 941) (4–5 min); big box stores (1 min); local shops and services (10 min); Victoria University: Sunshine Campus (1 min); Sunshine North Primary School (10 min); Phoenix Street Reserve (1 min); Dempster Park (6 min); childcare centre (1 min)
67-69 Cornwall Rd	Sunshine	10	Connector road	GRZ1	DCPO2	Sunshine Station (12 min); Bus routes (216, 220, 400, 408, 420, 422, 426, 427, 428, 429, 456, 471, 903, 941, 942) (11 min); Sunshine Plaza Shopping Centre (14 min); local shops, services and restaurants (11–15 min); K Wheelahan Gardens (5 min); Dickson Street

Address	Suburb	Apts	Street type	Zone	Overlay(s)	Nearby attractions (walking distance)
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Reserve (3 min); East Sunshine Kindergarten (6 min); Sunshine Primary School (17 min);
childcare (8 min); aged care (11 min)

7.12 VCAT Analysis

	84 Power Street, ST ALBANS
Date	14 Dec 2017
VCAT Citation	Bullion Constructions Pty Ltd v Brimbank CC [2017] VCAT 2097
Description of Proposal	Construction of five double storey dwellings in 'reverse living' format
Outcome	Decision of the Responsible Authority is affirmed. No permit is granted.
Applicable Zones/Overlays	RGZ1
Key Points	<p>Council refused the application on the basis that <i>“the development will result in significant social effects in the area due to a loss of community cohesion, breakdown of social interaction and community resilience, and negative impacts on the physical health and mental wellbeing of existing long-term residents”</i>.</p> <p>Council notes that <i>“the long term residents in the area have a right to stay and the transition between their homes and any new development should be gradual, not extreme. Longer term members of the community should not be detrimentally affected by new development.”</i></p>
VCAT Findings	<p>VCAT did not give weight to Council's ground of refusal but refused the permit on range of factors relating to landscaping, visual bulk to adjoining properties and internal amenity.</p> <p>VCAT finds that:</p> <ul style="list-style-type: none"> that the proposal fails to provide an acceptable landscaping, visual bulk to adjoining properties, and internal amenity response. an appropriate balance must be struck between the competing policies of the Planning Scheme. the 'reverse living' format results in poor internal amenity, excessive screening and overlooking concerns. the proposal provides an inadequate response to the design guidelines of Clause 55.04-6 - <i>overlooking</i>. The limited landscaping does not achieve the RGZ1 landscaping requirements along the length of the driveway the built form near the eastern boundary visually impacts on the adjoining property and that the proposed landscaping is not in accordance with the RGZ1.

	7 Brisbane Street, ALBION
Date	24 Jan 2018
VCAT Citation	Tabone v Brimbank CC [2018] VCAT 100
Description of Proposal	Construction of three two storey dwellings.
Outcome	Decision of the Responsible Authority is affirmed. No permit is granted.
Applicable Zones/Overlays	GRZ1
Key Points	<p>Council considered the proposal inconsistent with Clause 21.07 as it does not respect the existing or preferred neighbourhood character. Particularly siting, setbacks, design detail, open character/single storey scale and rear backyards landscape character.</p> <p>Council was concerned that the second storey at the rear was unacceptable, and that insufficient space was provided for landscaping and canopy trees in secluded private open space.</p> <p>Council expresses that whilst the development complies with Standard B17 it still presents an unacceptable visual bulk to its neighbours (VCAT accepted this position).</p>
VCAT Findings	<ul style="list-style-type: none"> > VCAT notes that there is no direction regarding whether two storey dwellings at the rear of properties are encouraged or acceptable. But agreed that the massing to the rear was excessive on neighbourhood character grounds. VCAT raises issues with matters of visual bulk and neighbourhood character. > VCAT did not support Council's concern about lack of landscaping. VCAT noted Council cannot reasonably say that open space areas that comply with the scheme fail to provide an adequate landscaping area. > VCAT also acknowledged the inevitable outcome of encouraging more dwellings within established neighbourhoods would be less canopy vegetation within private properties. Canopy landscaping in and around multiple dwelling developments is usually provided in the front setback, along the driveways and towards the rear of developments. It is less often provided within small areas of private open space.

	63 Derrimut Street ALBION
Date	27 May 2019
VCAT Citation	Black T Small Footprint 21 Pty Ltd v Brimbank CC [2019] VCAT 881
Description of Proposal	Construction of five 2-storey dwellings
Outcome	Decision of the Responsible Authority is affirmed. No permit is granted
Applicable Zones/Overlays	GRZ1
Key Points	<p>Council identified that the character of the neighbourhood is changing from older traditional single storey detached dwellings to modern contemporary townhouse styles, resulting in a mix in neighbourhood character.</p> <p>Council submission noted that in the absence of a neighbourhood character strategy/study that a decision must look at the existing neighbourhood context.</p>
VCAT Findings	<ul style="list-style-type: none"> > VCAT decision relates primarily to whether or not the design has acceptable regard to neighbourhood character and notes that there is nothing specific in the planning scheme in respect to neighbourhood character in Albion. > VCAT notes that it is more than just a built form response when you are constructing dwellings with two frontages. > Visitor car parking is to be considered in respect to the ultimate usage, equitable usage and the affect any additional car parking will have on the neighbourhood character of an area. > VCAT addresses that whilst technical compliance with variation to standard B29 might not be met, there is still a need to consider the usability of the space that has been created. > VCAT considers that there needs to be further thought given to side fencing, private open space, and landscaping.

	47 Derrimut Street, ALBION
Date	18 October 2019
VCAT Citation	Black T Small Footprint Pty Ltd v Brimbank CC [2019] VCAT 1621
Description of Proposal	Construction of five two storey dwellings
Outcome	Decision of the Responsible Authority is set aside. A permit is granted.
Applicable Zones/Overlays	GRZ1
Key Points	<p>Council considers that the proposal is out of character with the area with regard to scale, built form, bulk, density, materials, finishes, number of crossovers, amount of hard surface across the frontages of the site, and lack of trees.</p> <p>Council finds that the development is not respectful of the Garden City suburb established by HV McKay which has a detrimental impact on the streetscape.</p> <p>Council notes that the proposal does not satisfy the objectives, strategies and policies of Clause 21.07-3 as it does not integrate with the surrounding environment and detracts from the streetscape in terms of building design, height and massing.</p> <p>Council considers that the proposal does not meet the objectives and standards of Clause 55, specifically standard B1 – Neighbourhood character, standard B6 – Street setback, standard B29 – Solar access to open space and standard B32 – Design detail and is an overdevelopment of the land.</p> <p>The Albion and Ardeer Community Club Inc. support Council's decision and note that the development is not suitably sensitive to the special characteristics of the area.</p>
VCAT Findings	<ul style="list-style-type: none"> > VCAT notes that the Brimbank Planning Scheme contains no specific local neighbourhood character policies that would assist in considering how development should respond to its context, both physical and policy. > VCAT references that Clause 21.07-3 outlines the key elements that contribute to the existing neighbourhood character being building setbacks, colours and finishes, design detail and the landscaped setting. > VCAT notes that " The proposal will no doubt look different to what currently exists in this part of Albion. However, looking different does not make it unreasonable" > VCAT considers that the Planning Scheme provides little guidance to assist developers and residents on what respectful redevelopment would look like.

	19 Burrowye Crescent TAYLORS LAKES
Date	22 July 2020
VCAT Citation	Kropf v Brimbank CC [2020] VCAT 941
Description of Proposal	Construction of five double storey dwellings.
Outcome	Decision of Council affirmed; no permit granted.
Applicable Zones/Overlays	NRZ1, SBO
Key Points	Council took issue with the lack of side setbacks proposed accessibility of the car spaces and aspects of internal amenity.
VCAT Findings	<ul style="list-style-type: none"> > VCAT affirmed the refusal, taking issue with the siting of some of the dwellings, the lack of landscaping and several habitable rooms reliant on skylights. VCAT did not agree with Council's focus on the issue of setbacks. > Notes that there is no policy guidance of what is meant by limited change in the NRZ1, and notes that the neighbourhood character of the areas is mixed. > VCAT noted that Council policy requiring 'protection' of neighbourhood character is quite strong, and references other parts of the Planning Scheme that requires 'respect' for neighbourhood character (the purpose of the zone and Clause 55).

	63 Derrimut Street ALBION
Date	11 November 2020
VCAT Citation	Black T/Small Footprint Pty Ltd v Brimbank CC [2020] VCAT 1262
Description of Proposal	Construction of five double storey dwellings.
Outcome	Decision of Council affirmed; no permit granted.
Applicable Zones/Overlays	GRZ1
Key Points	<p>Council refused on the grounds of failure to respond to the neighbourhood character of the area, unacceptable proposed car parking arrangements, and impacts on the amenity of the adjoining properties.</p> <p>Specifically, Council is critical of the extent of the dwelling form and length, use of parapet walls and flat roofs and articulation and massing of built form to the street.</p> <p>Council notes that the proposal fails to address Standard B29 in respect to solar access.</p>
VCAT Findings	<ul style="list-style-type: none"> > Drawing on Clause 15.01-5S, the purposes of GRZ1 (which varies Clause 55) and Clause 21.07-3, VCAT found that while the construction of more than one dwelling on the site was supported by planning policy, the proposal failed to respect the neighbourhood character of the area. > VCAT were critical of the proposal to create indented parking bays within the road reserve, the useability of private open space and a lack of detail with respect to shadow diagrams.

	1 Wood Street, DEER PARK
Date	11 January 2021
VCAT Citation	Canterlever Construction Pty Ltd v Brimbank CC [2021] VCAT 19
Description of Proposal	Construction of seven two and three bedroom dwellings sited one behind the other. Reverse living arrangement (except Unit 7).
Outcome	Decision of Council affirmed; no permit granted.
Applicable Zones/Overlays	RGZ1
Key Points	Council refused due to limited landscaping opportunities that fail to compensate for increased density and reduced amenity for residents in area due to increased traffic, built form and lack of landscaping. Including greater site coverage, building surface area and demand for energy consumption.
VCAT Findings	<ul style="list-style-type: none"> > VCAT found proposal had not struck an acceptable balance between objectives for increased housing intensification and policies that ask for development that respond to an area's context and character, and which also achieve high quality, innovative, and site responsive design outcomes. VCAT notes issues with lack of landscaping, reliance on windows and screens to prevent overlooking, and visual bulk. > VCAT notes that in reading the planning scheme policies, controls and provisions including the varied Clause 55 standards and decision guidelines in RGZ1, that these collectively emphasise the importance of high quality urban design, buildings, and better landscaping outcomes. > VCAT notes that standard B13 in the RGZ1 is not achieved and would not mitigate the effect of building bulk.

	1 Neimur Avenue, DEER PARK
Date	10 June 2021
VCAT Citation	I and F Investments Pty Ltd v Brimbank CC [2021] VCAT 603
Description of Proposal	Construction of 6 double storey dwellings.
Outcome	Decision of Council set aside; permit granted.
Applicable Zones/Overlays	RGZ1
Key Points	<p>Council refused on matters of neighbourhood character – scale, setbacks, and insufficient room for canopy tree.</p> <p>Council refused on grounds that front setback did not comply with Standard B6 of Clause 55.</p> <p>Applicant claimed Council refused due to pressure from residents who are not happy with Council's strategic decision to place this land in the Residential Growth Zone.</p> <p>Council notes that not all RGZ1 areas are equal, with RGZ1 in or abutting activity centres able to achieve a greater level of change, and a lesser level of change closer to the 'residential hinterland'.</p>
VCAT Findings	<p>> VCAT disagreed that the location is not appropriate for the scale of development proposed. VCAT noted Council's expectation of graduated change within the RGZ is not clearly articulated in Clauses 21.04 and 21.07. However, VCAT did consider aspects of character in assessing the application due to the presence of a preferred character statement for the RGZ in at Clause 21.07-3.</p>

	29 Poole Street, DEER PARK
Date	29 Nov 2021
VCAT Citation	Pisano v Brimbank CC [2021] VCAT 1412
Description of Proposal	Construction of five three-storey dwellings in a 'reverse living' format.
Outcome	Decision of Council set aside; permit granted subject to conditions
Applicable Zones/Overlays	RGZ1
Key Points	Council refused the application on ResCode grounds, particularly solar access, setbacks, scale, and visual impact on street. Council submits that the proposal will have an overbearing and visually intrusive form to the street.
VCAT Findings	<ul style="list-style-type: none"> > VCAT found that the scale was acceptable, noting the RGZ anticipates change to the character of the area. VCAT noted that scale transitions are relevant only at the interface of different zones, not adjoining properties (as per RGZ1 decision guidelines). > Minor variations to Clause 55 setback standards were considered acceptable in the context of the design. > VCAT dismissed concerns about lack of housing diversity and the inability of reverse living to accommodate people of varied abilities on the basis that the dwelling diversity clause of ResCode does not apply to development of fewer than 10 dwellings.

Other VCAT cases reviewed but not cited in this Background Report:

Case	Neighbourhood Character Issues Considered
Gorgievski v Brimbank CC [2018] VCAT 635	Landscape character, building bulk and scale.
Gulabovski v Brimbank CC [2019] VCAT 454	Built form character, streetscape character and rhythm.
RSMG Investments Pty Ltd v Brimbank CC [2019] VCAT 756	Setbacks, landscaping.
Nguyen v Brimbank CC [2019] VCAT 935	Setbacks, scale, form and building bulk.
PBG Real Estate Holdings Pty Ltd v Brimbank CC [2019] VCAT 1303	Building bulk, side setbacks, landscaping, streetscape character, articulation, design details (roofing).
Panorama Investment (Albanvale) Pty Ltd v Brimbank CC [2020] VCAT 859	Design details, setbacks, building articulation.
Riva Ridge Pty Ltd v Brimbank CC [2020] VCAT 1342	Form and building bulk, design details (walls and roofing), streetscape character and building articulation.
CitiWest Constructions Pty Ltd v Brimbank CC [2021] VCAT 363	Siting, setbacks, design detail, landscaping.
P & H Group Enterprises Pty Ltd v Brimbank CC [2021] VCAT 400	Building scale, massing and articulation; setback; streetscape character and rhythm.
35 West Esplanade Pty Ltd v Brimbank CC [2021] VCAT 433	Building scale and bulk, landscaping, front setback, driveway siting and scale (limits landscaping).
Lieu v Brimbank CC [2021] VCAT 611	Built form, massing and scale; setbacks; streetscape character.
Pegan v Brimbank CC [2021] VCAT 687	Siting, scale, vehicle access, streetscape character and rhythm.
Minalex Enterprises Pty Ltd v Brimbank CC [2021] VCAT 924	Building scale, setbacks, landscaping, streetscape character and rhythm.
Sunshine Vale Pty Ltd v Brimbank CC [2021] VCAT 1058	Landscaping, maintenance.
JBHcom Pty Ltd v Brimbank CC [2022] VCAT 270	Building form and bulk, setbacks, design details, landscaping.
Planning and Design v Brimbank CC [2022] VCAT 256	Visual bulk and massing, setbacks, materials and finishes.
Wilkin v Brimbank CC [2022] VCAT 791	Landscape character, front setbacks, building bulk and scale.
Nguyen v Brimbank CC [2022] VCAT 831	Setbacks, design details.

7.13 Suburb Profiles

The following contains site observations across all 19 residential suburbs.

Calder Park, Brooklyn, Keilor East and Tullamarine are employment-based suburbs and were not observed for neighbourhood character. Keilor North falls outside of the Urban Growth Boundary and was not observed for neighbourhood character either.

Albanvale

Zones and Overlay Plans

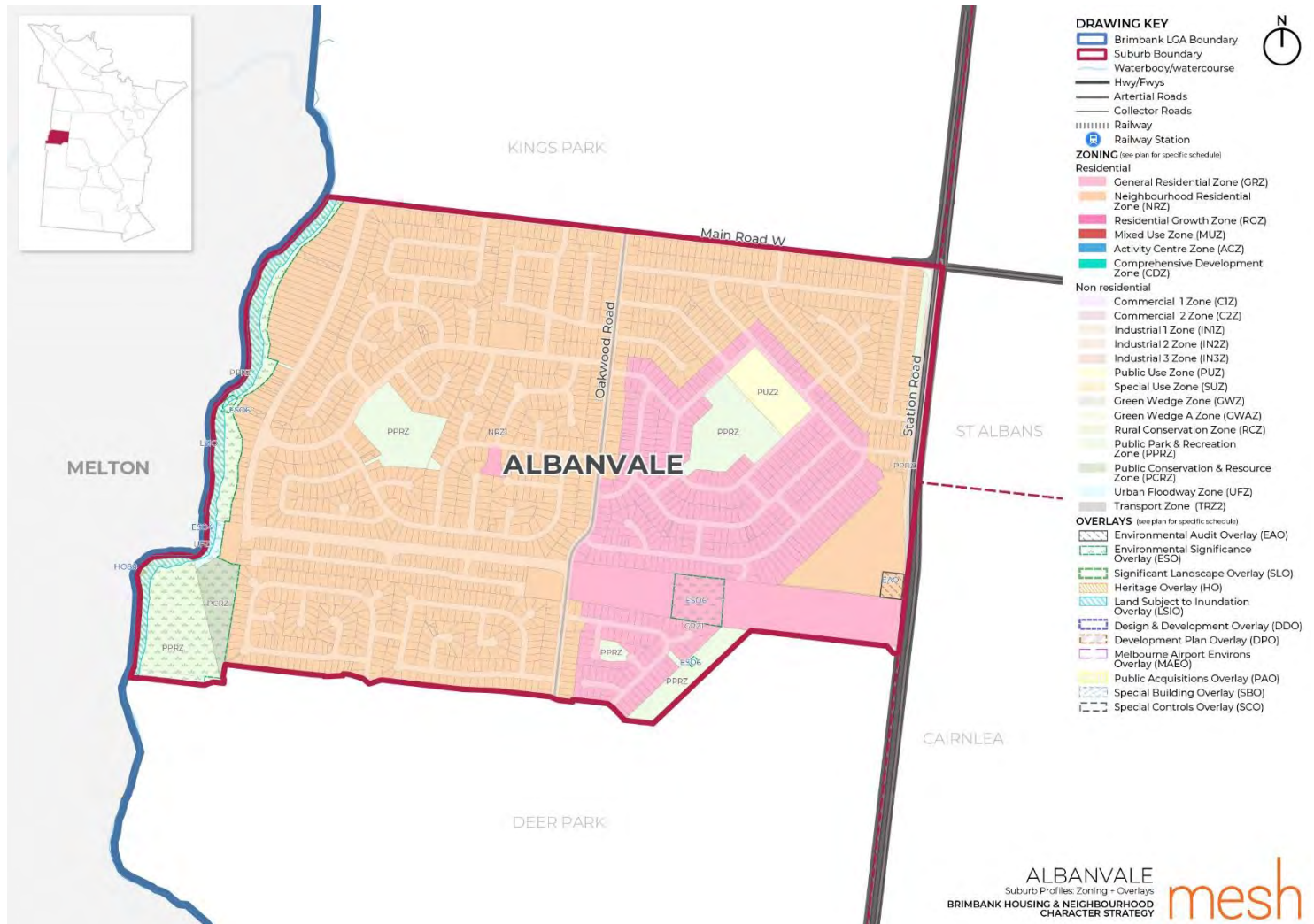


Figure 22: Albanvale - (Left) Dwellings along Opie Road. (Centre) Contemporary development adjoining McCann Drive. (Right) A typical dwelling in Albanvale.



Existing Suburb Character Description

Predominately single storey detached dwellings. Traditional dwelling stock has similar architectural styles, roofing and colour selection. Dwellings feature large open windows, often with roller shutters. The material of dwellings is primarily brick, in brown, orange and cream colours.

Moderate front setbacks are consistent and allow for a mix of landscaping and vehicle access and/or parking
Front gardens are typically informally landscaped with low scale planting and expanses of lawn.

The street network is varied, and often includes court bowls. Streetscapes have footpaths on both sides of the road. New street tree plantings are evident throughout and will increase canopy coverage in the future, contributing to greening the suburb. Medium height and permeable front fences typically line the street, separating the private and public realm.

Large scale contemporary infill development exists along Albanvale Drive in the south, but there is otherwise limited infill development on local streets. There are few vacant sites within the local street network and a very large vacant site in the south that adjoins Brimbank Shopping Centre. Brimbank Shopping Centre straddles the southern boundary with limited pedestrian connectivity to residential areas to the north and west.

Suburb Contributors and Threats

Contributors

- **Consistency of siting, setbacks and site coverage:** Moderate front setbacks throughout.
- **Consistent, complementary colours and materials:** Predominately brick in orange, brown and cream.
- **Vegetation and landscaping:** New street tree planting.

Threats

- **Excessive bulk or height:** Visual bulk of contemporary development in the south.
- **Dominant vehicle access and parking:** Car access and parking within front setbacks.
- **Inadequate landscaping:** Impacted front garden landscaping as a result of car access and parking.
- **Change in materiality or style:** Dominant use of roller shutters throughout.

Neighbourhood Character Features

Table 3: Albanvale Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none">• Active residential interface to Main Road West and Kings Park in the north.• Vegetated landscape strip screens back of fence interface to Station Road.• Kororoit Creek extends along the full western boundary.
	Private & public realm landscaping	<ul style="list-style-type: none">• Limited established street trees; new street tree planting evident throughout.• Minimal front garden planting; typically only lawn with some low-rise plantings.• Landscaping is impacted by driveways and vehicle parking.• Some canopy coverage in front and rear gardens.
	Street alignment, type & proportions	<ul style="list-style-type: none">• Curvilinear street network.• Court bowls are prominent in the west.• Wide streets throughout allow on-street parking, on both sides of the road.• Indented parking bays along McCann Drive, Isabella Court and Albanvale Drive.
Built Form Scale and	Setbacks & site coverage	<ul style="list-style-type: none">• Predominately moderate front and side setbacks.• Generous setbacks are typical for dwellings at the end of a court.• Larger site coverage and built form bulk on the lot typically results in minimal side setbacks.• Minimal setbacks are typical as part of large scale contemporary infill development in the south.

Features for Assessment		Neighbourhood Feature Observations
	Building types & height	<ul style="list-style-type: none"> • Low rise, predominately single storey detached dwellings. • Double storey detached dwellings and attached townhouses as part of southern large scale infill development. • 2000s era townhouse and unit development along Opie Road.
	Lot size	<ul style="list-style-type: none"> • Predominately 500–650sqm. • 1000sqm adjoining Kororoit Creek.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> • Front fencing is common throughout. • Predominately low to medium height and permeable. • Typically metal 'pool style' or brick materials in various colours. • Contemporary infill dwellings typically have no front fences.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> • A mixture of carports and integrated garages. • Side setbacks provide vehicle parking and access for most dwellings. • A mixture of double and single crossovers. Contemporary infill development in the south has double crossovers. • Rear access to dwellings as part of large scale contemporary infill development in the south.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> • Predominately 1980s era. • Contemporary infill development adjoining McCann Drive. • Limited amount of contemporary infill development within broader suburb. <i>Example: Evergreen Avenue and Guest Avenue.</i>
	Building materiality & quality	<ul style="list-style-type: none"> • Predominately brick dwellings of orange, brown and cream colours. • Carports typically of Colorbond steel that matches the dwelling colour palette. • High levels of dwelling quality. • Some instances of reduced maintenance to dwellings. • Dominant use of roller shutters throughout.
	Roof styles, materials & colours	<ul style="list-style-type: none"> • Predominately hip style roofs. • Some instances of gable style roofs. • Garages and carports typically feature flat roofs. • Mixture of roof colours. Predominately tile materials. • Eaves are common single storey dwellings. • Limited instances of solar panels on roofs.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> • Pedestrian paths on both sides of the street. • Pedestrian paths on a single side of the street as part of large scale infill development in the south. • Pedestrian paths connect to open spaces via laneway access. • Shared user path along Kororoit Creek along the rear of dwellings.

Albion

Zones and Overlay Plan

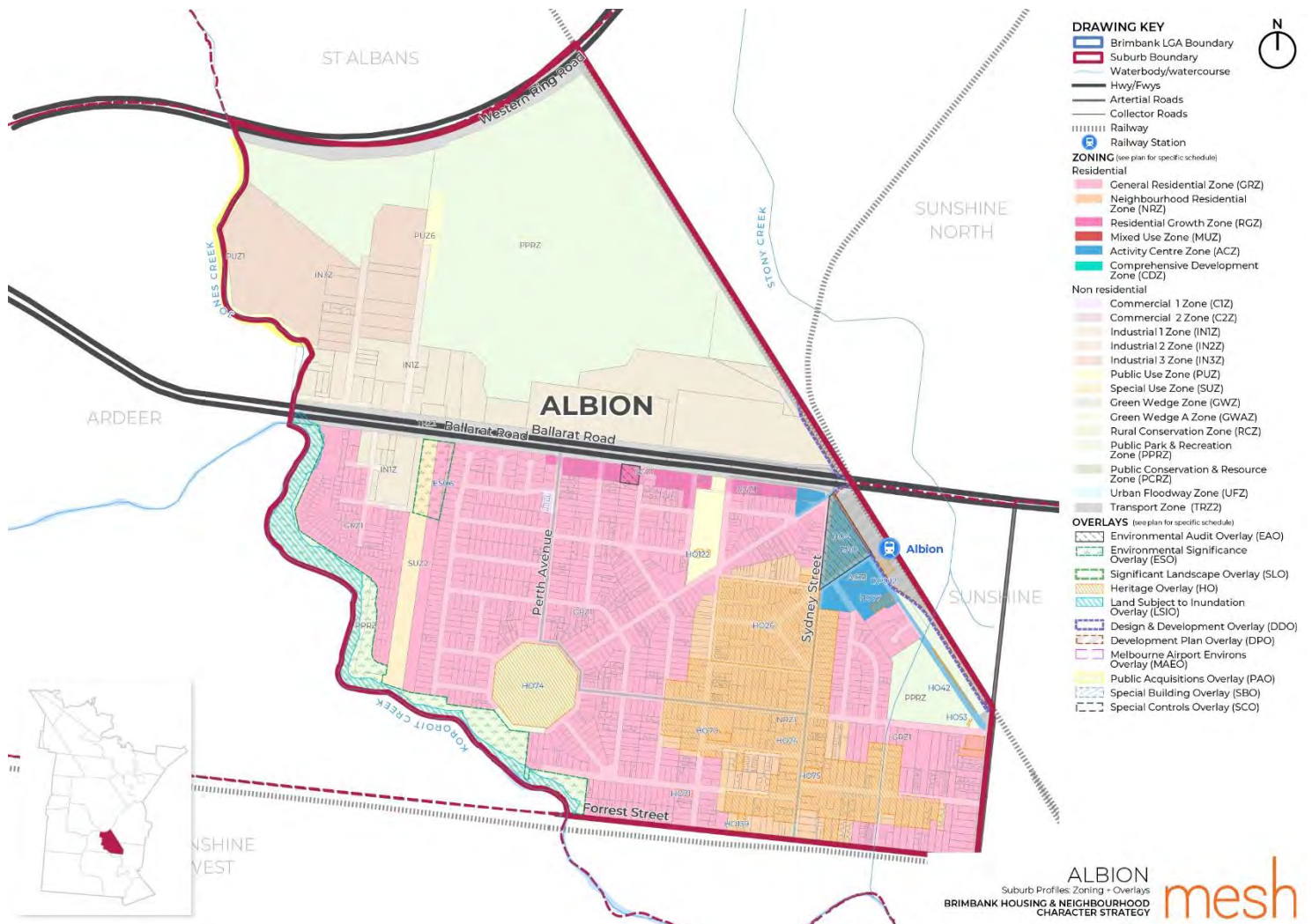


Figure 23: Albion - (Left) Heritage dwellings along Coolamon Street. (Centre) Contemporary development along Talmage Street. (Right) Streetscape improvement works along Burnewang Street.



Existing Suburb Character Description

Predominately residential with a mixture of housing styles and eras that generally have similar building materials, finishes and roof styles. Various heritage overlays protect both dwellings and the broader subdivision pattern, including the War Services Home Estate (HO26) and McKay Housing Estates (HO24). Heritage dwellings are typically constructed of weatherboard, in muted tones.

Dwellings not protected by heritage overlays often employ heritage design features, creating a sense of cohesion between new and older developments.

Flat topography and an unconventional grid street network allow for sight lines and strong pedestrian connectivity to open space and Kororoit Creek.

Contemporary infill development is occurring in close proximity to Albion Station. The Sunshine National Employment and Innovation Cluster identifies the Albion Station Precinct as an area for intensification and highlights several sites for major redevelopment and denser housing forms.

Albion includes two education facilities and various active recreation opportunities including baseball, tennis, cricket and lawn bowls. An employment area in the north is separated from residential areas by Ballarat Road. Forrest Street and the rail line noise barrier visually and physically separates Albion from Sunshine West.

A residential aged care facility at 639 Ballarat Road in the west isolates a pocket of residential development. The facility increases fencing heights with no permeability to the residential area and abutting streets, this creates a poor character outcome in the west of Albion.

Suburb Contributors and Threats

Contributors

- **Vegetation and landscaping:** Established palm trees and canopy tree coverage contribute to a garden setting.
- **Connections to open space:** Key roads lead to open space in the southwest, contributing to a sense of place and connection to green space.
- **Consistency of siting, setbacks and site coverage:** Moderate front setbacks and low rise dwellings.
- **Vegetation and landscaping:** Front garden landscaping and canopy trees within the private realm contribute to a garden setting.
- **Consistent, complementary colours and materials:** Mixed brick and weatherboard materials.
- **Consistent, complementary colours and materials:** Uniform roof styles.
- **Street layout:** Streetscapes promote walking via raised crossings, central medians and connected pathways.

Threats

- **Excessive bulk or height:** Visual bulk of multi-unit development and contemporary infill development particularly in proximity to Albion Station.
- **Excessive bulk or height:** Contemporary infill development not in keeping with the low rise scale of traditional housing stock.
- **Limited connectivity or accessibility:** Rail line noise barrier in the south limits connection and visibility through to Sunshine West.
- **Inadequate landscaping:** Minimal front garden landscaping and minimal front setbacks as a result of contemporary development increasing built bulk to the street.

Neighbourhood Character Features

Table 4: Albion Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Developm	Locations, transitions & boundaries	<ul style="list-style-type: none">• Varied residential frontage to bounding roads, Kororoit Creek and the rail line.• Inconsistent residential address and frontage to Ballarat Road.• Perth Avenue undergoing an increased level of residential change than in other parts of the suburb.

Features for Assessment		Neighbourhood Feature Observations
		<ul style="list-style-type: none"> Rail line noise barriers limit connectivity and visibility through to Sunshine West.
	Private & public realm landscaping	<ul style="list-style-type: none"> Varied frequencies of street tree planting. Often varied in scale and species. Moderate levels of established street trees particularly in comparison to Sunshine West and Sunshine. Minimal to moderate front garden landscaping with low-rise planting and/or lawn. Established palm trees within the private and public realm. Key roads lead to open space in the southwest. Dwellings front onto open space and creates passive surveillance opportunities. Backyards often viewed from the street due to building sighting and permeable side fencing.
	Street alignment, type & proportions	<ul style="list-style-type: none"> Non-conventional grid street layout that reflects HV McKay's 'garden-city' plans. Dead-end style roads adjoin open space assets. Streetscape improvement works throughout. Tree lined streets provide visual links and connectivity to adjoining open spaces and natural assets.
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Consistent moderate front and side setbacks provide sufficient space for landscaping. This is particularly evident with traditional and heritage-protected housing stock. Minimal front and side setbacks associated with contemporary infill development and post-war multi-level units. <i>Example: Ridley Street and Forest Street.</i> Side setbacks allow for vehicle parking and access to carports and rear sheds. Multi-unit developments in the southeast achieve uniform setbacks. <i>Example: Ridley Street and King Edward Avenue.</i> Contemporary infill and multi-level unit developments display increased site coverage.
	Building types & height	<ul style="list-style-type: none"> Low rise, predominately single storey brick or weatherboard dwellings. Contemporary infill townhouse typologies scattered throughout suburb, typically double storey. Multi-level flats no greater than three storeys in the southeast and adjoining the Albion Station. Higher buildings could obscure view lines to the silos in the northeast. Contemporary infill and multi-level unit developments display more intensive built forms.
	Lot size	<ul style="list-style-type: none"> Varied lot sizes, with lot sizes increasing towards the southeast. Large lots are associated with multi-level low scale apartments. Residential density increases in the south, particularly along Forrest Street. Contemporary infill development increases density adjoining Albion Station.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Low to moderate height, permeable front fences are common, typically of brick, wood or a metal material. High fencing more common adjoining Ballarat Road, typically brick with wrought iron details. Timber style fencing styles in the south and southeast, often as part of early 1900s era housing. <i>Example: King Edward Avenue.</i> Contemporary infill development often includes moderate height front fencing that mimics early 1900s styles of timber or timber-look material. Metal 'pool style' fencing is common.

Features for Assessment		Neighbourhood Feature Observations
Architectural Styles and Roof Styles		<ul style="list-style-type: none"> Moderate scale, permeable front fencing is a prominent feature on most dwellings along Adelaide Street.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Garages and carports are generally set back from the front façade and do not dominate the streetscape. Side setbacks generally provide vehicle parking for detached, multi-unit and contemporary infill development. Infill development typically achieve garages integrated with the built form. Heritage dwellings typically do not have garages and carports and often achieve vehicle access from the rear of the property. Predominately single crossovers. Ample opportunity for on-street car parking.
	Era of development	<ul style="list-style-type: none"> Predominately 1900 to 1940s era. Some 1950s to 1970s eras. Recent contemporary infill development in the north, along Perth Street and adjoining Selwyn Park. Various vacant sites throughout. Vacant/single dwelling lots often redeveloped into contemporary multi-unit developments in the south.
	Building materiality & quality	<ul style="list-style-type: none"> Various housing styles—Edwardian, Federation and California Bungalow — typically of light colours. Contemporary infill development and multi-level units in varied building materials and colour selection. <i>Example: Forrest Street.</i> Some contemporary infill developments include weatherboard and mock heritage details. Traditional brick dwellings typically orange and cream brick. Weatherboard dwellings typically of varied colour and condition. Heritage protected dwellings typically of weatherboard material. Consistent use of mixed brick and weatherboard materials along Adelaide Street. Dwellings on Adelaide Street are often less maintained than other areas. Varied building quality and level of maintenance to multi-level units and dwellings off Wasley Street. Visible signs of sun damage and building cracking. Varied levels of maintenance to heritage protected dwellings.
Notable Features	Roof styles, materials & colours	<ul style="list-style-type: none"> Predominately tiled, hip styles and some gable styles. Heritage protected dwellings typically feature Colorbond steel or corrugated iron dutch and gable roof styles. Terracotta tile colours are common as part of brick dwellings. Eaves and verandas are common as part of traditional housing stock. Limited instances of solar panels on roofs.
	Details of the footpath & street	<ul style="list-style-type: none"> Pedestrian crossings, central medians and vehicle slowing devices. Dedicated on street bicycle lanes along key streets. Consistent streetscapes that promote walking via raised crossings, central medians and connected pathways. Water sensitive urban design (WSUD) treatments along Ridley Street.

Ardeer

Zones and Overlay Plan

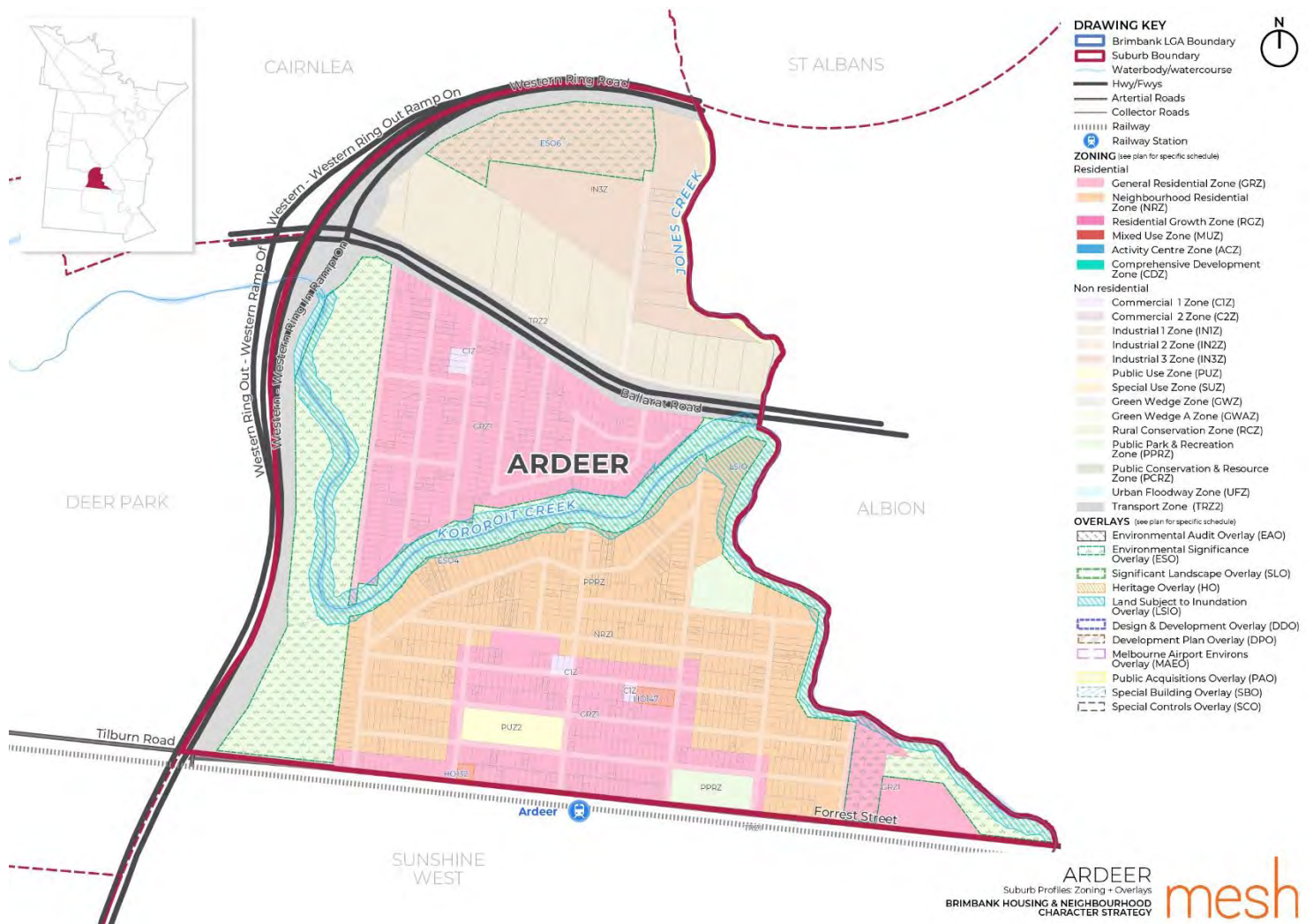


Figure 24: Ardeer - (Left) Typical dwelling in Ardeer. (Centre) Dwellings along Holt Street. (Right) dwellings along Rockbank Road.



Existing Suburb Character Description

Single storey detached dwellings with some double storey infill is the predominate housing typology. Contemporary medium density townhouse and unit developments are scattered throughout and at greater concentrations south of Kororoit Creek.

Building styles are diverse and reflective of reoccurring renovation and redevelopment of traditional housing stock.

The diverse mix of building styles includes brick veneer, rendered brick and weatherboard façade treatments. Detached dwellings are typically situated on moderate lots. Moderate landscaping in front gardens, with varied heights of planting and mixed species selection. Front landscaping is minimal as part of contemporary infill development. Topography variation in the north results in retaining walls and side and back fences to the street and Kororoit Creek.

Kororoit Creek physically separates the north and south of the suburb and creates a natural separation between residential zones. Bridged pedestrian connections provide limited north-south accessibility. Ballarat Road also provides a physical separation between residential development and mixed use/industrial development in the north. The Metropolitan Ring Road, Kororoit Creek and the Rail Corridor further limit connection to adjoining suburbs. Together this contributes to a sense of containment and enclosure of Ardeer's residential areas.

Dwellings are serviced by local convenience, education and recreation facilities. Heritage Overlay (Schedule 147) affects a row of dwellings in the south.

Suburb Contributors and Threats

Contributors

- **Connections to open space:** Strong connection to natural features of Kororoit Creek.
- **Street layout:** Wide streets with pedestrian paths on both sides.
- **Vegetation and landscaping:** Established trees contribute to streetscape character.
- **Consistency of siting, setbacks and site coverage:** Moderate front setbacks
- **Vegetation and landscaping:** canopy trees within the private and public realm contribute to a spacious street setting.

Threats

- **Limited connectivity or accessibility:** Rail line sound wall limits visual and physical connection to Sunshine West and is a dominant feature of the street.
- **Excessive bulk or height:** Scale and siting of contemporary infill development is inconsistent with traditional housing stock.

Neighbourhood Character Features

Table 5: Ardeer Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none">• Limited visual and physical connection to the rail corridor and Sunshine West to the south.• Slip lane access is provided to residential properties with frontage to Ballarat Road.• Back of fence interface with Kororoit Creek provides a separation between Ardeer and Albion in the east.
	Private & public realm landscaping	<ul style="list-style-type: none">• Moderate to generous landscaping within front gardens.• Established fruit trees throughout as part of nature strip and front garden landscaping.• Generous backyard landscaping which can often be viewed from the street.• Consistent street tree planting along McLaughlin Street and Holt Street observed as part of 2019 Neighbourhood Character Study is affirmed.

Features for Assessment		Neighbourhood Feature Observations
	Street alignment, type & proportions	<ul style="list-style-type: none"> • Grid based road network. • No vehicle access across Kororoit Creek. • Wide streetscapes.
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> • Moderate front setbacks associated with both traditional housing stock and contemporary detached dwellings. • Some instances of contemporary unit and townhouse infill developments respecting existing setbacks. • Other instances of minimal front, side and rear setbacks or no setback to side boundary as part of contemporary development. • Detached dwellings have generous single-side setbacks often achieving space for car parking or access to a shed at rear of property.
	Building types & height	<ul style="list-style-type: none"> • Predominantly single storey detached dwellings. • Contemporary multi-dwelling unit developments along Kororoit Creek • Recent developments are often double storey in height. • Dual-occupancy outcomes throughout, often with a second dwelling to the rear of an existing dwelling.
	Lot size	<ul style="list-style-type: none"> • Predominately 500–650sqm lots. • 650–800sqm lots in the northwest with very limited occurrence in the south. • Larger lots over 1000sqm adjoining the southern edge of Kororoit Creek.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> • Low and permeable front fencing common. • Contemporary developments often have no front fencing. • Brick, metal 'pool style' and permeable timber fencing materials are common. • Traditional timber side and rear fencing is common.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> • Carports and garages generally in line with, or set back from, the dwelling façade as part of traditional housing stock. • Contemporary development typically includes garages in line with the front façade. • Predominantly single crossovers. • Contemporary unit and townhouse developments achieve access via shared driveways/common property.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> • Mixture of post-war and 2000s development. • Post-war development is most prominent.
	Building materiality & quality	<ul style="list-style-type: none"> • Brick dwellings and weatherboard material are most common. • Weatherboard is often associated with post-war development, in varied colours. • Varying levels of building maintenance which impacts the condition of the dwelling façade. • Contemporary developments generally consist of a mix of brick and rendered concrete neutral finishes (i.e., whites and greys). • Large presence of roller shutters in the northern areas.
	Roof styles, materials & colours	<ul style="list-style-type: none"> • Roofs are generally tiled (terracotta and black in colour) in hipped or gable style. • Flat roofs more common as part of contemporary development. • Weatherboard dwellings frequently have Dutch and gable style roofs in Colorbond or corrugated iron material. • Eaves are common on both single and double storey dwellings. • Some instances of solar panels on roofs.

Features for Assessment		Neighbourhood Feature Observations
Notable Features	Details of the footpath & street	<ul style="list-style-type: none">• Varied streetscape quality and inconsistent street tree plantings.• More established street trees adjoining Kororoit Creek.• Pedestrian paths on both sides of the street, connecting to open space and the street network.

Cairnlea

Zones and Overlay Plan

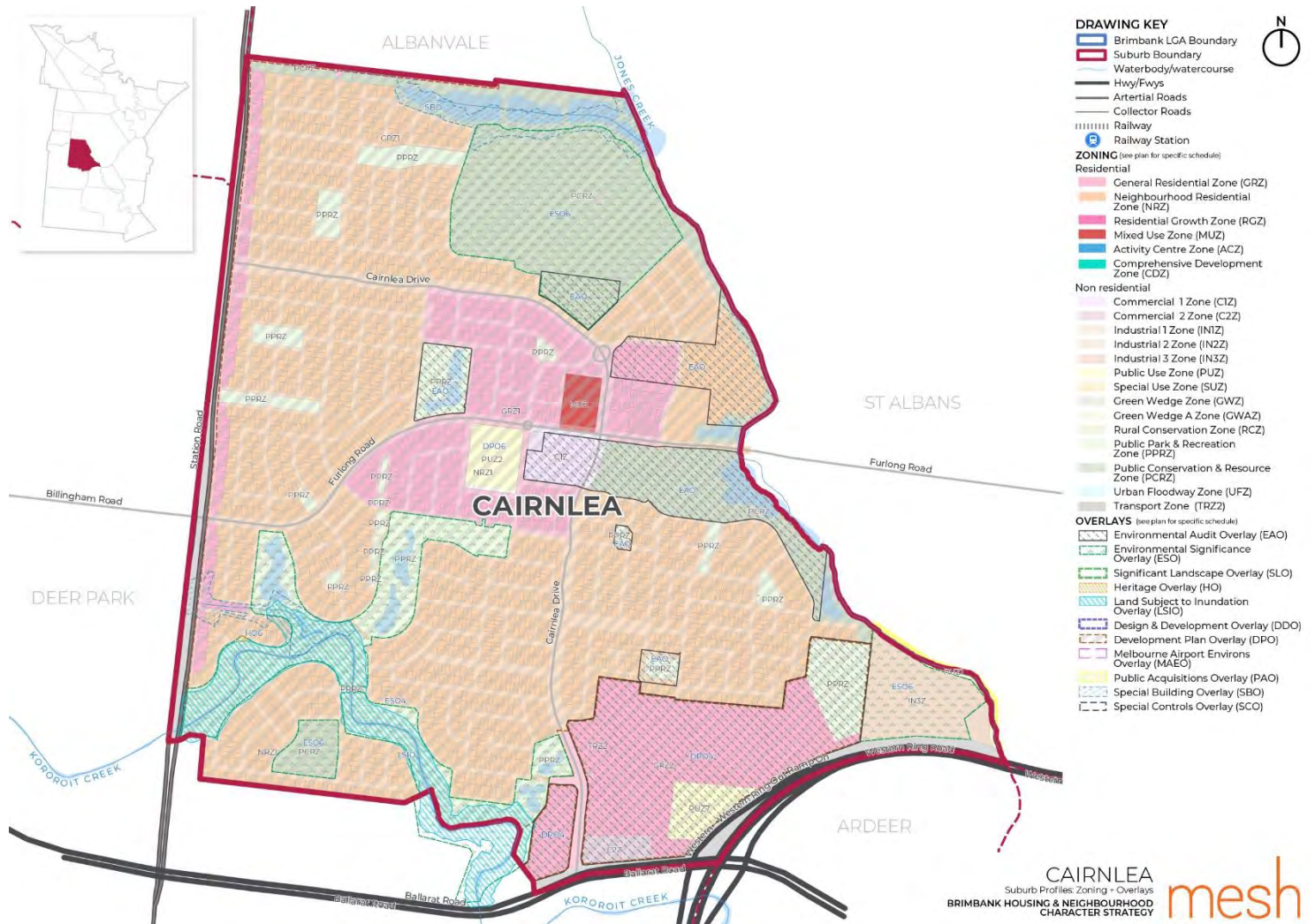


Figure 25: Cairnlea - (Left) Dwellings along Delma Avenue. (Centre) Dwelling built to side property boundaries. (Right) Apartment typology adjoining the Town Centre.



Existing Suburb Character Description

Single and double storey dwellings feature a mixture of building materials and colours, creating diversity and visual separation of dwellings along the street. Predominately detached dwellings with frequent pockets of townhouse and unit developments. A recent apartment development in the Cairnlea Town Centre, contributes to a diversity of housing typologies within the suburb.

Private realm landscaping is minimal as a result of minimal front and side setbacks and intensive built forms. Public realm landscaping is often generous and integrated into the overall subdivision layout. This provides physical access and visual connection to open space and the natural environment and contributes to a sense of greening and increased amenity for residents.

The road network is curved with some instances of court bowl/dead-end style road design, often as a result of intersecting open space or conservation reserves. The streets create an open, spacious and uniform network that allows for pedestrian and cyclist connectivity and amenity.

Cairnlea is located on the site of the former Albion Explosives Factory and is a master planned community still under a level of construction. Further development is expected along Cairnlea Drive and Ballarat Road. The Cairnlea Retail Centre Urban Design Guidelines (2002) have made a strong contribution to the overall siting and design of dwellings, resulting in visual interest and material variation, and creating uniform setbacks and building siting.

Suburb Contributors and Threats

Contributors

- **Vegetation and landscaping:** Established street tree planting and generous public realm landscaping contributes to a landscape setting.
- **Street Layout:** Wide roads, cycle and pedestrian connections and planted central medians creates a strong streetscape character.
- **Consistent, complementary colours and materials:** Well-maintained and complementary building styles and finishes create diversity along the street.
- **Low to moderate height front fencing:** Little to no front fencing contributes to a spacious street setting.

Threats

- **Dominant vehicle access and parking:** Dominant double garages and prominent driveways
- **Inadequate landscaping:** reduce front garden landscaping.
- **Excessive bulk or height:** Larger, dominant built form reduce opportunities for additional canopy tree planting.

Neighbourhood Character Features

Table 6: Cairnlea Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none">• Transmission line easement and wetlands in the north and Jones Creek in the east, provide a natural separation between St Albans and Cairnlea.• The only western vehicle connection is via Furlong Road.• Residential density increases closer to Cairnlea Town Centre. <i>Example: Nobel Banks Drive.</i>• Areas in the south and centre may undergo development in the near future.• Dwellings front Station Road with access via service roads.
	Private & public realm landscaping	<ul style="list-style-type: none">• Established street tree planting on most streets.• Minimal to moderate landscaping in front gardens with low to medium planting or lawns.• Some front gardens achieve an established canopy tree.• Gravel and/or rocks used in replacement of plants and lawn.• Public realm includes generous landscaping and play, picnic or seating infrastructure.

Features for Assessment		Neighbourhood Feature Observations
	Street alignment, type & proportions	<ul style="list-style-type: none"> • Unconventional grid street network with limited dead-end roads. • Streets are wide and provide opportunities for parking on both sides. • Some formalised street parking bays around education and recreation precincts.
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> • Minimal to moderate front setbacks that are consistent across the street. • Minimal side setbacks with some instances of no side setbacks. • Garages are predominately built to side boundary. • High site coverage due to intensive built form.
	Building types & height	<ul style="list-style-type: none"> • Low rise, a mixture of single and double storey heights. • Multi-unit and townhouse typologies are typically double storey. • Six storey apartment building adjoining the town centre.
	Lot size	<ul style="list-style-type: none"> • Predominately 300–500sqm and 500–650sqm lots. • Very small and small lot sizes in proximity to town centre and along key local streets.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> • Typically no front fencing. • Limited instances of medium height fencing typically in metal ‘pool style’. These are found more frequently adjoining key local roads and Station Road.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> • Varied side setbacks throughout. • Some moderate side setbacks providing additional landscaping and/or private open space. • Predominately single crossovers. • Multi-unit developments and townhouses typologies achieve access via shared driveways/common property. • Large driveways give access to dual garages and increase impervious areas.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> • Predominately 1990s to 2000s builds.
	Building materiality & quality	<ul style="list-style-type: none"> • Predominately brick dwellings in red, orange and cream colours • Rendered dwellings are common, typically in cream and dark grey colours. • Limited instances of other material types and colours. • Dwellings are well-maintained. • Reduced build quality more typical in townhouse and unit typologies. Viable sun and water damage of rendered and metal materials.
	Roof styles, materials & colours	<ul style="list-style-type: none"> • Predominately hip roof styles in terracotta and grey tile. • Some instances of Dutch and gable roof styles. • Limited instances of eaves. • Some instances of solar panels on roofs.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> • Pedestrian paths on both sides of residential streets. • Pedestrian paths link into shared paths within natural assets and open space. • On-road cycling lanes on Furlong Road and Cairnlea Boulevard.

Deer Park Zones and Overlay Plan

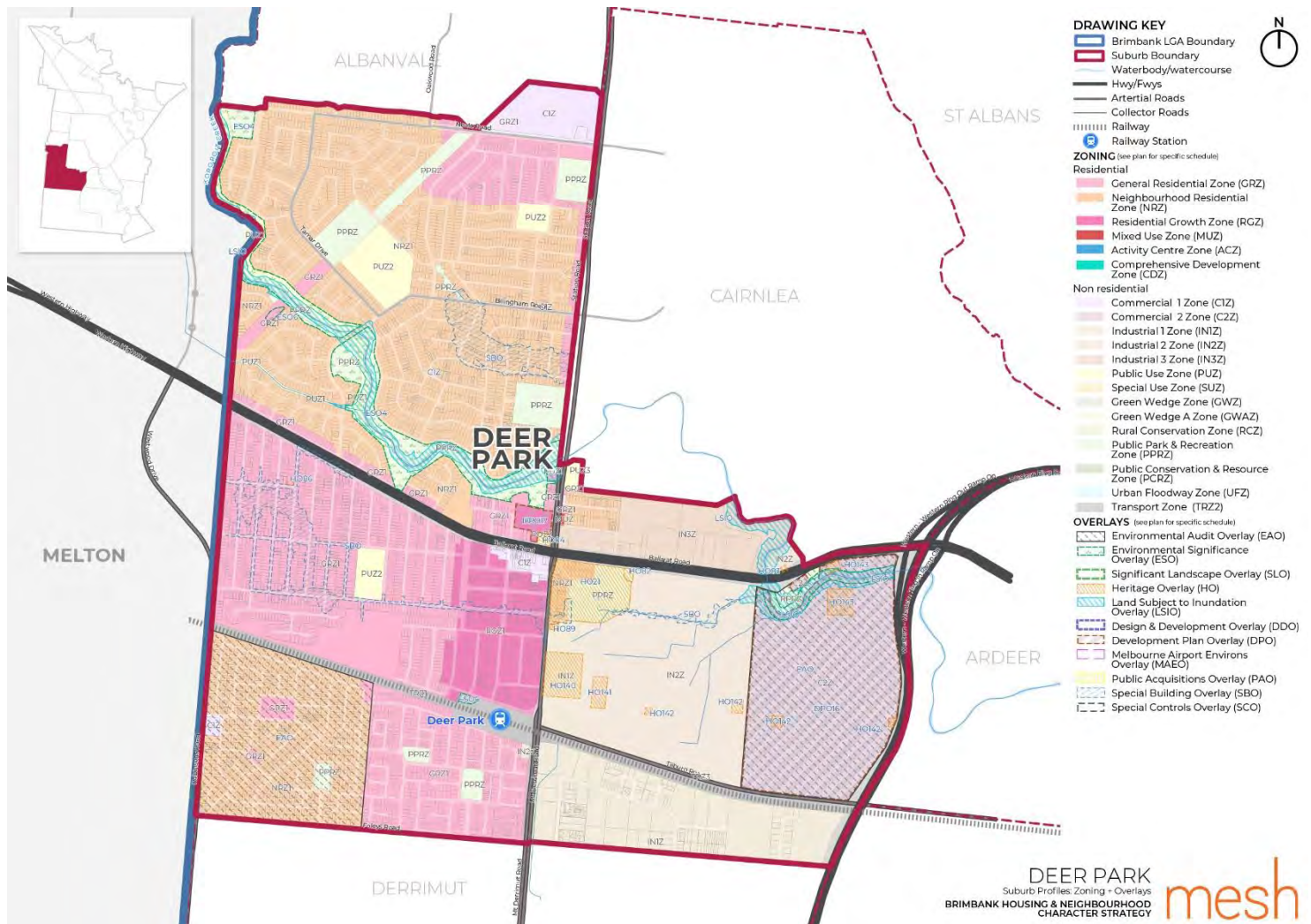


Figure 26: Deer Park - (Left) Typical dwelling north of Ballarat Road. (Centre) Dwelling facade diversity south of Ballarat Road. (Right) A heritage dwelling on Station Road.



Existing Suburb Character Description

A mixture of traditional housing stock and more contemporary development. Townhouse and unit developments are scattered throughout and at greater concentrations in proximity to Deer Park Train Station and Ballarat Road. Various small scale and larger vacant sites exist throughout the suburb.

Architectural styles are diverse and reflective of the contemporary redevelopment of traditional housing stock and contemporary infill development.

Traditional housing stock is typically situated on small sized lots with minimal front garden landscaping. Species selection is typically mixed and of lower scale. Moderate landscaping within lots north of Kororoit Creek, expands canopy tree coverage from the creek line into the private realm and adjoining streets. Contemporary development typically results in increased site coverage, building bulk and development to the property line. This reduces opportunities for landscaping within the private realm.

The creek line, rail line and Ballarat Road run east-west across the suburb. This creates pockets of residential areas with similar characteristics or features. High levels of canopy coverage, moderate front setbacks and homogenous building styles are typical in areas north of Kororoit Creek and immediately to the south of the creek line.

Contemporary development is a dominant feature of the area between Ballarat Road and the rail line. Traditional housing stock is typically retained and an additional dwelling is constructed on the lot creating a dual occupancy dwelling. In other examples the traditional house is demolished for the construction of two or three townhouse or unit typologies. New development south of the rail line have minimal setbacks or landscaping and building styles are similar to those to the south, in Derrimut. Industrial development flanks residential areas in both the southeast and southwest.

Observations from the 2019 Neighbourhood Character Study are affirmed in respect to the limited provision of contemporary townhouse and unit development in proximity to the activity centre.

Educational facilities, local and large scale convenience stores, open space and areas for active recreation provide a range of services, amenity and infrastructure for residents.

A Special Building Overlay affects properties southwest of Ballarat Road and south of Billingham Road. The Development Plan Overlay Schedule 17 affects vacant land adjoining the corner of Station Road and Ballarat Road. Various Heritage Overlays protect dwellings. Heritage buildings are particularly concentrated in areas adjoining Ballarat Road in the centre of the suburb.

Suburb Contributors and Threats

Contributors

- **Vegetation and landscaping:** Deciduous trees and olive trees planted along streets and within the private realm contribute to a sense of place.
- **Vegetation and landscaping:** Greater canopy coverage and street tree provision in the north
- **Street layout:** Maintained and wide streetscapes create a spacious setting.
- **Consistency of siting, setbacks and site coverage:** Contemporary development typically respects existing front setbacks.
- **Consistent, complementary colours and materials:** Muted and complementary dwelling façade colour selection.

Threats

- **Inadequate landscaping:** Reduced landscaping as a result of contemporary development.
- **Dominant vehicle access and parking:** Dominance of car access and parking within side and front setbacks.
- **Excessive bulk or height:** Increased site coverage and impervious surfaces as a result of contemporary development.
- **Excessive bulk or height:** Reduced side setbacks and boundary to boundary development.

Neighbourhood Character Features

Table 7: Deer Park Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none"> Dwellings typically front key bounding roads and are accessed directly or via service lanes. Varied residential interfaces with industrial land uses in the east. Residential areas in the south (i.e., south of the train line) provide back of fence treatments to Mount Derrimut Road and Robinsons Road. Direct residential interface to industrial development and industrial zoned land in the northeast. Back of fence treatments to Kororoit Creek in the south and frontage to Kororoit Creek in the north along Milbank Drive.
	Private & public realm landscaping	<ul style="list-style-type: none"> Varied street tree provision. Increased frequencies of street trees in the south. Very limited street trees between Ballarat Road and the rail line. Species often include deciduous trees and olive trees. Established trees more common adjoining Kororoit Creek in the north. Varied front garden landscaping, typically minimal scale with lawn and low rise planting. Private landscaping particularly impacted by vehicle parking in the south. Increased open space provision in the south.
	Street alignment, type & proportions	<ul style="list-style-type: none"> A mixture of grid and curvilinear street networks. Limited instances of dead-end styles and court bowls. Extended nature strip along Hamilton Street. Street network varies between different residential zones. Wide streets particularly in the north and north of the rail line.
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Traditional housing stock typically includes moderate to generous front setbacks. Contemporary development typically includes minimal to moderate front setbacks. Varied side setbacks. Side setbacks are minimal as part of increased site coverage and building scale. Contemporary development includes minimal side setbacks. Development south of rail line typically built to the property line on both sides. Traditional housing stock utilises a side setback to achieve access to an additional dwelling at the rear (dual occupancy dwelling). Varied levels of site coverage that increase in the south and as a result of contemporary and dual occupancy development. Setbacks are typically uniform along the streets. Contemporary development typically respects existing front setback alignment.
	Building types & height	<ul style="list-style-type: none"> Low rise, predominately single storey detached dwellings. Contemporary development in the south with predominately single storey detached dwellings. Several townhouse and unit typologies. Emerging double storey townhouse typologies. Townhouse, unit, and dual occupancy typologies increasing throughout. Subdivision of larger lots for contemporary development in the north. Dual occupancy and 2–3 units on a lot are common in particular north of the rail line and east of Station Road. <i>Example: Doherty Street and Glencairn Avenue.</i>
	Lot size	<ul style="list-style-type: none"> Varied lot sizes. Predominantly 500–650 sqm. Some instances of 650–800 sqm. Development densities increase in the south.

Features for Assessment		Neighbourhood Feature Observations
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> • Front fencing is common. Typically low to medium in height and permeable. • Fences are often 'pool style' or brick with/without ornate metal. • Brick dwellings typically feature brick fencing in the same colour. • Medium to high front fences with moderate permeability are common along key streets in central areas. • Variety of fencing materials and colours in central areas and higher instances of timber picket fences. • Predominately no front fences south of the rail line.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> • Predominately single vehicle crossovers. • Mix of carports and garages. • Garages are typically built to the side property boundary in the south. • Garages are typically integrated with the built form in line with, or set back from, the dwelling façade. • Front setbacks are typically used for additional vehicle parking which impacts on landscaping. • Traditional housing stock to the north typically features driveways along the full side setback.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> • Late 1950s – 1980s development around Hogan Street • 1980s era north of the rail line. • Predominately 1990s to 2000s era south of the rail line. • Contemporary development scattered throughout northern areas.
	Building materiality & quality	<ul style="list-style-type: none"> • Varied architectural styles. • Typically brick materials in brown and cream brick. • Emerging rendered finishes and varied coloured brick, typically as part of contemporary development or renovation of the traditional dwelling. • Weatherboard materials are common north of Kororoit Creek. • Heritage protected weatherboard dwellings along Hyde Street. • Varied dwelling maintenance which decreases north of Ballarat Road.
	Roof styles, materials & colours	<ul style="list-style-type: none"> • Predominately hip roof styles. • Dutch and gable roof styles are common. • Tile in dark grey or terracotta colours is a key material across all roof styles. • Eaves are common on both single and double storey dwellings and as part of contemporary development. • Limited instances of solar panels on roofs.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> • Footpaths typically on both sides of the street. • Shared path provision along Byrne Street, connecting to Deer Park Station. • Shared path provision along Kororoit Creek with links to the street network. • Pedestrian connection over the rail line is restricted to Robinsons and Station Road.

Delahey

Zones and Overlay Plan

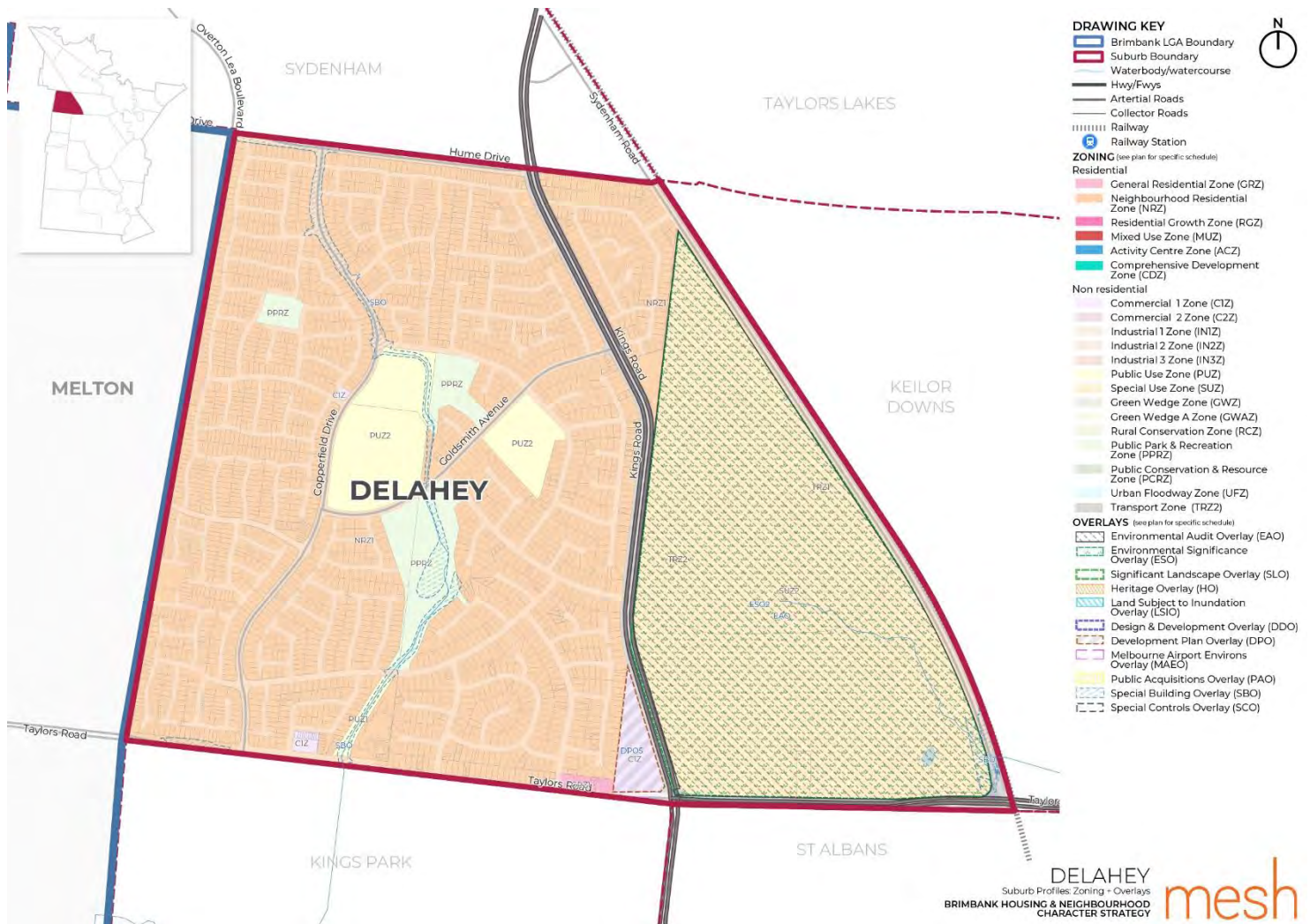


Figure 27: Delahey - (Left) Established street trees along Kurrajong Road. (Centre) Typical dwellings in the south-west. (Right) consistent dwelling setbacks along Goldsmith Avenue.



Existing Suburb Character Description

Homogenous housing typologies that are predominately single storey detached dwellings. Revitalisation and renovation of dwellings by property owners is evident throughout the suburb. Dwellings feature highly articulated facades with large open windows and are predominately constructed of brick materials in varied colours

Buildings have similar architectural styles, roof styles and colour selection.

Shorter streets and dead-ends result in an unconventional grid street network. Streetscapes are narrower in width and often lack footpaths. Limited front fence treatment often allows for additional vehicle parking within the front setback and nature strip. Established street trees that provide canopy coverage are visible throughout the suburb.

Back of fence treatments along all three bounding roads separate residential areas from adjoining suburbs. Connectivity to Taylors Hill (Melton City Council) in the west is limited to major roads and a single local connection at Silvertree Avenue.

The suburb is serviced by two small local convenience centres in the south and a range of education facilities and open space reserves. An aged care facility, accessed from Taylors Road, sits separately from adjoining residential areas.

Suburb Contributors and Threats

Contributors

- **Vegetation and landscaping:** Canopy trees and established street trees create shaded streets.
- **Consistent, complementary colours and materials:** Similar architectural styles and colours contribute to uniform streetscapes.
- **Low to moderate height front fencing:** Low to moderate scale fencing
- **Vegetation and landscaping:** Maintained front gardens and public open space.

Threats

- **Dominant vehicle access and parking:** Dominance of areas used for additional vehicle parking within front setbacks.
- **Inadequate landscaping:** Minimal private realm landscaping.

Neighbourhood Character Features

Table 8: Delahey Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none">• Back of fence treatments to both Hume and Taylors Road.• Back of fence treatments on both sides of Kings Road.• Expansive grasslands in the east, which disconnect the suburb from Keilor Downs.• Isolated residential area east of Kings Road.
	Private & public realm landscaping	<ul style="list-style-type: none">• Varied levels of canopy tree coverage and street tree provision.• Frequent established street trees.• Minimal landscaping which is impacted upon by driveways and vehicle parking.• Varied species selection within private realm.• Gravel is often used in replacement of lawn and nature strips to allow for additional vehicle parking.• Hedging common within front landscaping and adjoining side boundary.
	Street alignment, type & proportions	<ul style="list-style-type: none">• Unconventional grid based street network.• Some instances of dead-end style roads, often achieving pedestrian through connections.• Dead-end style treatments along western boundary.• Wide local connector roads. <i>Example: Copperfield Drive and Goldsmith Avenue.</i>• Narrow local roads, dead-end roads and courts.

Features for Assessment		Neighbourhood Feature Observations
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Dwellings predominately with minimal side setbacks. Limited instances of side setbacks achieving vehicle access or parking. Instances of no setback with dwelling built to both property boundary. Increased site coverage. Moderate front setbacks. Minimal front setbacks often a result of increased site coverage. Front setbacks vary in consistency and uniformity. Some streets have uniform setbacks. Others have a greater variation.
	Building types & height	<ul style="list-style-type: none"> Low rise, predominately single storey dwellings. Double storey typically achieved as part of contemporary development. Limited typology variation. Limited instances of townhouse or unit developments. Double storey unit development to the east of Kings Road.
	Lot size	<ul style="list-style-type: none"> Varied lot sizes. 300–650sqm in the north, north of Goldsmith Avenue. Predominately 650–800sqm in the south.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Predominately no front fences. Some instances of metal ‘pool style’ fencing in light colours.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Predominately single crossovers. Garages typically integrated with built form in line with front façades. Additional vehicle parking typically within front setback rather than on-street.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Predominately 1990s to 2000s. Very limited instances of contemporary development.
	Building materiality & quality	<ul style="list-style-type: none"> Predominately brick dwellings in orange and cream colours. Rendered dwellings typically in cream and grey tones. Brick dwellings typically of good quality.
	Roof styles, materials & colours	<ul style="list-style-type: none"> Predominately hip style roofs. Variety of roof colours, typically terracotta, grey or brown. Tile a key material. Some instances of gable styles. Eaves are common on dwellings. Limited instances of solar panels on roofs.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> Limited pedestrian path provision. Pedestrian paths typically provided on through roads only. Pedestrian permeability between dead-end style streets.

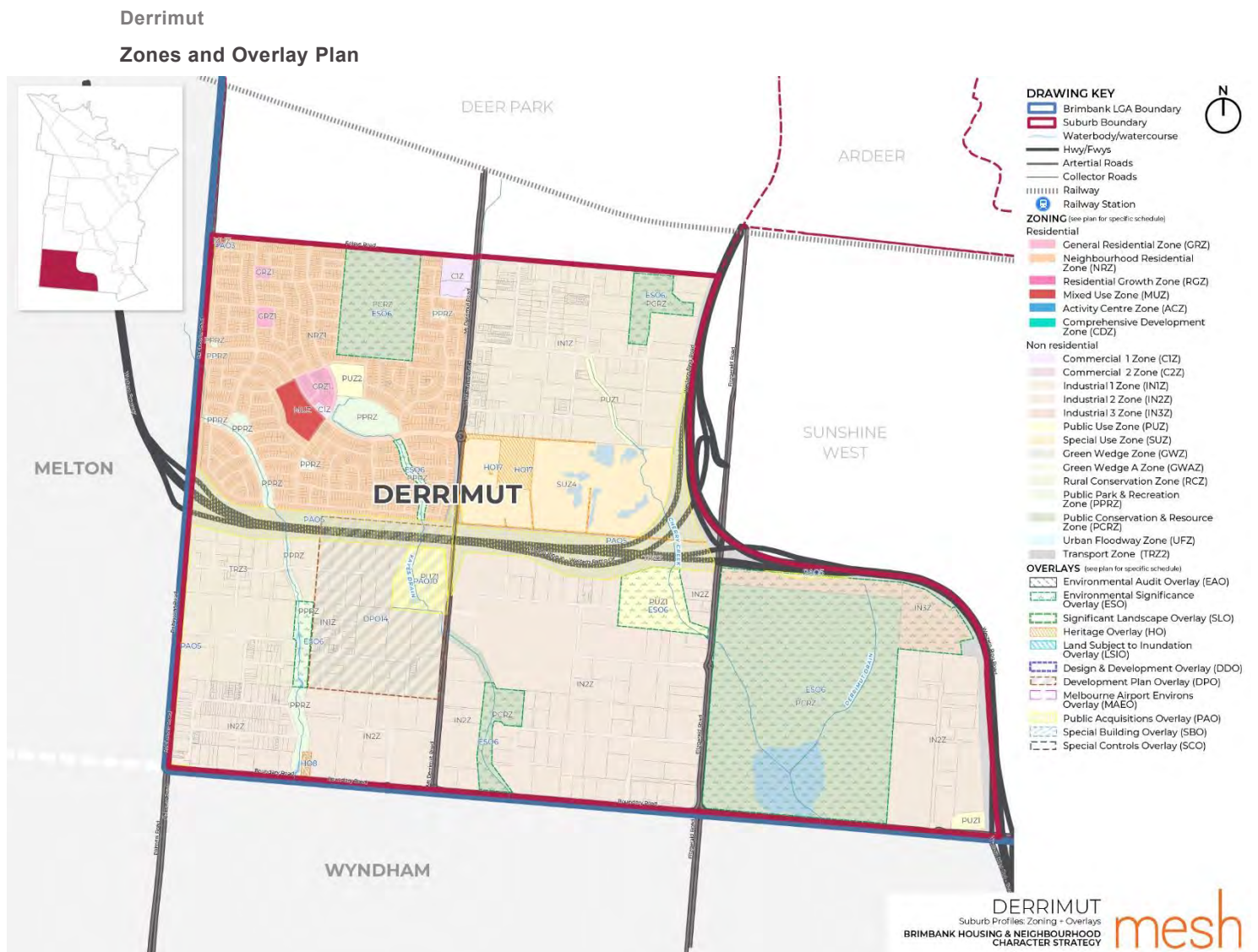
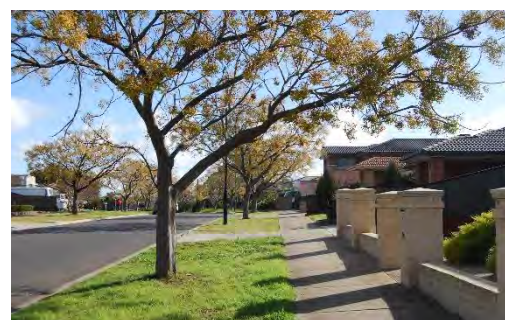


Figure 28: Derrimut - (Left) Dwellings along Windsor Boulevard. (Centre) Dwellings with minimal front setback. (Right) Townhouse typologies along Lennon Parkway.



Existing Suburb Character Description

A master planned residential precinct with predominately detached dwellings and small pockets of medium density typologies.

Single and double storey dwellings feature consistent use of building materials and muted tones. A high level of site coverage reduces private realm landscaping.

Generous public realm landscaping and natural features provide access and visual connection to open space and the natural environment, with Mount Derrimut Nature Reserve as a predominate feature in the north. Residential lots positively address the nature reserve, but accessibility is restricted. Creek lines and waterbodies are integrated into open space and contribute to a sense of greening and amenity.

Surrounded by industrial development to the south and east and a nature conservation reserve to the west. Interfaces to non-residential zoned land are often fenced and lack visual and physical connectivity.

The road network is curved with some instances of court bowl/dead-end style road design, often as a result of intersecting open space or conservation reserves. Wide streets create an open, spacious and uniform network that allows for pedestrian and cyclist connectivity and amenity.

Suburb Contributors and Threats

Contributors

- **Consistent, complementary colours and materials:** Similar building materials create consistency across streets.
- **Vegetation and landscaping:** Semi-established and uniform street trees paired with a variety of open space assets create a landscape setting.
- **Street layout:** Connected and wide streetscapes are consistent.
- **Connections to open space:** Dwellings provide sight lines over open space and natural features.

Threats

- **Inadequate landscaping:** Impacts on private realm landscaping as a result of increased site coverage.
- **Inadequate landscaping:** Limited canopy tree provision within the private realm.
- **Dominant vehicle access and parking:** Front setback used for additional vehicle parking.
- **Dominant vehicle access and parking:** High frequency of on-street car parking that crowds the street.

Neighbourhood Character Features

Table 9: Derrimut Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none">• Limited interface with adjoining industrial land uses and the Western Freeway.• Direct frontage to Foleys Road provides residential connections to Deer Park.• Articulated entrances to the residential areas.
	Private & public realm landscaping	<ul style="list-style-type: none">• Increased site coverage as a result of building bulk which reduces the scale of private realm landscaping.• Minimal landscaping within front gardens.• Strong visual and physical connections to local reserves and waterways.• Generously landscaped public realm.• Uniform and consistent street tree planting throughout.
	Street alignment, type & proportions	<ul style="list-style-type: none">• Curved grid based street network.• Limited dead-end road treatments.• Streetscapes are of uniform width.

Features for Assessment		Neighbourhood Feature Observations
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Increased built form scale results in increased site coverage across all typologies. Minimal side setbacks and some instances of no side setback with built form to property boundaries. Minimal front setbacks often with vehicle parking only.
	Building types & height	<ul style="list-style-type: none"> Predominately single and double storey detached dwellings. Low rise apartment style and medium density development opposite education and commercial land uses. Rear-loaded typologies provide for a positive address to open space and creek lines in the south.
	Lot size	<ul style="list-style-type: none"> Varied lot sizes, typically 300–500sqm in the northwest and 500–650sqm in the centre and south.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Limited instances of front fencing. Back fence interfaces with industrial areas in the east and south and adjoining the Western Freeway.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Garages are a prominent feature of the dwellings, typically integrated with built form and in line with the front façade. Predominately single crossovers. Front setbacks often used for additional off-street car parking.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Predominately 1990s to 2000s development.
	Building materiality & quality	<ul style="list-style-type: none"> Consistent brick and render finish material selection. Rendered finishes often add colour and texture variation to dwellings. Repetitive building material and façade articulation which is reflective of master planned estates. Roller shutters as an addition to the façade of buildings occurs infrequently.
	Roof styles, materials & colours	<ul style="list-style-type: none"> Consistent dark coloured tiled roofs. Prominent hip style roof styles with some instances of Dutch roof styles. Eaves are common on single storey dwellings. Solar panels on roofs are common.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> High frequency of on-street car parking, which restricts traffic movements. Semi-established street trees and a uniform landscape theme.

Hillside

Zones and Overlay Plan

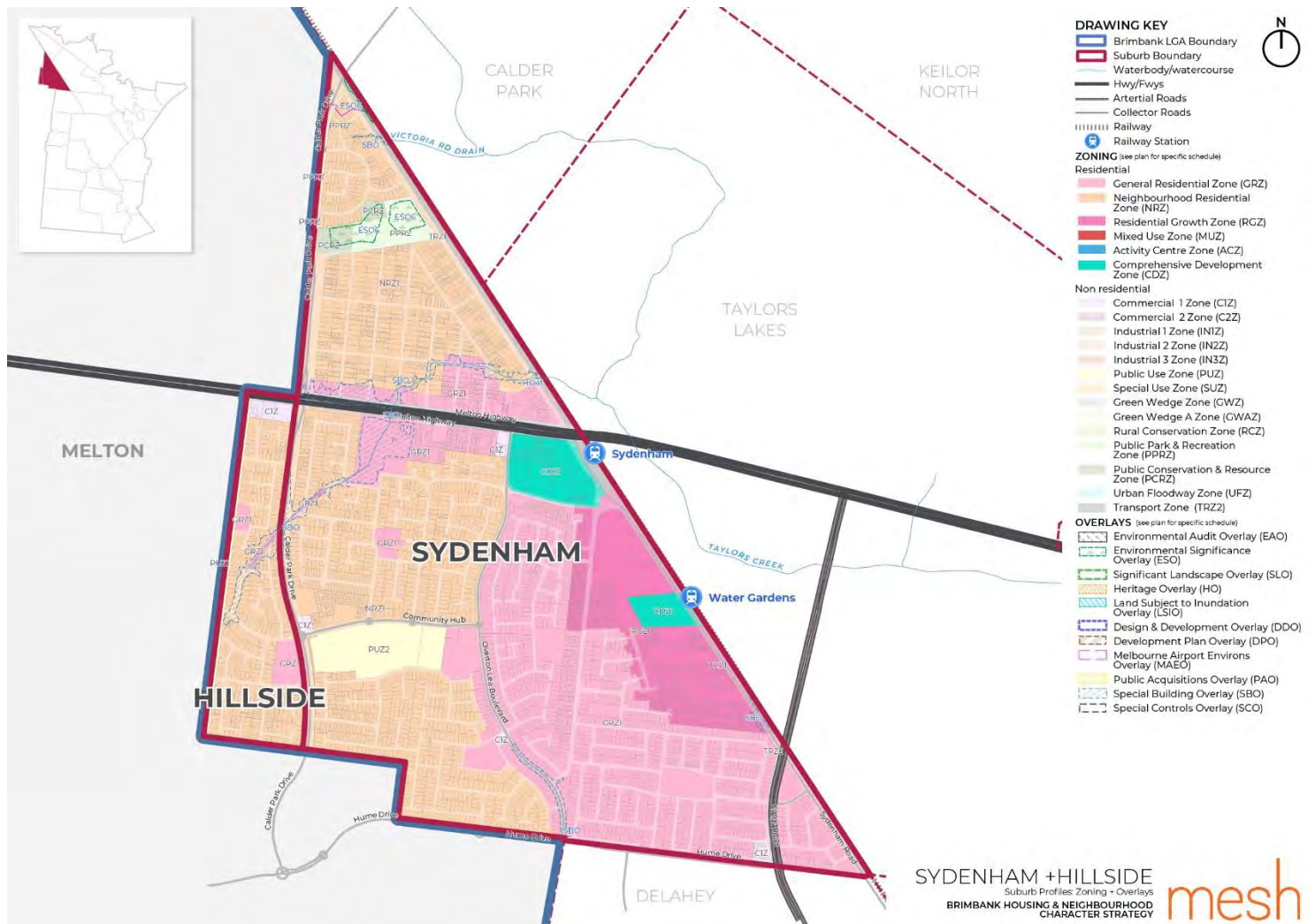


Figure 29: Hillside - (Left) Unit typologies along Padula Court. (Centre) Established canopy trees on Morgan Court. (Right) Closed roller shutters on a dwelling.



Existing Suburb Character Description

Predominately single storey detached dwellings with limited vacant sites. Small quantities of townhouse and unit developments are scattered throughout the suburb. Building styles are similar and feature brick materials and hip or Dutch roof styles of mixed colours. Lot sizes are varied across the suburb in no particular pattern.

Consistent moderate - generous front setbacks allow for mixed species planting and canopy tree establishment.

Cyprus and Palm tree species within private realm landscaping contributes to a localised landscape identity and strong garden setting. A lack of front fencing, narrow streets and limited footpaths further contribute to the garden setting.

The Brimbank City Council portion of Hillside sits separated from the broader suburb within Melton City Council. Separation occurs via a narrow drainage reserve along the western edge of the suburb (Brimbank). Three road connections are provided to Melton. There is limited residential dwelling differences between municipal areas. Residential development is controlled by a singular residential zone across the portion of the suburb within Brimbank and adjoining area of Melton. Open space is provided within linear drainage reserves, with a formalised play space at Hillside Reserve in the south. Sydenham Reservoir is visible from most parts of the suburb.

Suburb Contributors and Threats

Contributors

- **Consistent, complementary colours and materials:** Similar building materials and colour selection creates consistency.
- **Vegetation and landscaping:** Moderate to generous front setbacks allow space for landscaping and contribute to a garden setting.
- **Vegetation and landscaping:** Varied species of street tree planting creates canopy coverage and shaded streets.
- **Low to moderate height front fencing:** Little to no front fencing contributes to more spacious streets.

Threats

- **Limited connectivity or accessibility:** Broader suburb area falls within another municipality.
- **Limited connectivity or accessibility:** Street network creates a series of dead-end style treatments limiting access and connection through the suburb.
- **Limited connectivity or accessibility:** Lack of footpaths on some streets restricts pedestrian access and movement.
- **Change in materiality or style:** Dominance of roller shutters reduces passive surveillance and detracts from the overall architectural style of dwellings.

Neighbourhood Character Features

Table 10: Hillside Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none"> • Drainage reserve provides separation between residential development to the west. • Limited boundary or separation between Hillside (Brimbank) and residential land to the south (outside of the municipality). • Back of fence treatment to drainage reserve and adjoining municipality along western edge. • No direct residential frontage to Melton Highway in the north. • Limited access off Calder Park Drive into the suburb.
	Private & public realm landscaping	<ul style="list-style-type: none"> • Varied species street tree planting. • Established tree planting in keeping with Sydenham to the east. • Palm and Cyprus tree species within private realm landscaping. <i>Example: Community Hub.</i> • Moderate landscaping within front gardens. • Front gardens are well-maintained and formally planted, often with hedging along the front and side property boundaries. • Established eucalyptus, particularly in road reserves.

Features for Assessment		Neighbourhood Feature Observations
	Street alignment, type & proportions	<ul style="list-style-type: none"> On-street parking and parking bays throughout. Wide entry streets from Calder Park Drive. Narrow local streets. Limited through road connections. Dead-end/hammer head style end treatments throughout.
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Moderate to generous front setbacks that occur on both sides of the street. Townhouse and unit typologies provide moderate front setbacks, typically without canopy trees. <i>Example: Di Berardino Way.</i> Minimal side setbacks are common throughout. Car parking typically achieved within the frontage of the dwelling.
	Building types & height	<ul style="list-style-type: none"> Predominantly single storey detached dwellings. Some instances of single storey townhouse and unit typologies. <i>Example: Morgan Court and Padula Court.</i>
	Lot size	<ul style="list-style-type: none"> Varied lot sizes across the suburb. Limited pattern to lot size provision. Limited vacant sites. Lots of 800–1000sqm in the south typically associated with the termination of the street (dead-end). Lots of 650–800sqm typically occur together.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Predominately no front fencing. Side fencing typically ceases in line with front dwelling façades or reduces in height (medium fencing) at the front property boundary. Hedging or Cyprus species used in replacement of fencing treatments.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Garages are typically integrated with the built form. Carports often provided to the side of the dwelling façade. Typically of Colorbond steel material. Predominantly single crossovers.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Predominately 1990s to 2000s builds. Limited emerging contemporary development or revitalisation of traditional housing stock.
	Building materiality & quality	<ul style="list-style-type: none"> Predominately brick materials in orange, cream and red colours. Roller shutters evident throughout.
	Roof styles, materials & colours	<ul style="list-style-type: none"> Mixed roof colours, typically of tile in terracotta, charcoal, red and green colours. Hip and Dutch styles are common. Eaves are common on dwellings. Limited instances of solar panels on roofs.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> Pedestrian paths typically provided on one side of the street. Pedestrian paths predominately link dead-end streets to one another. <i>Example: Chris Court.</i> On-street parking bays throughout. Red brick road surface treatment to local roads.

Kealba

Zones and Overlay Plan

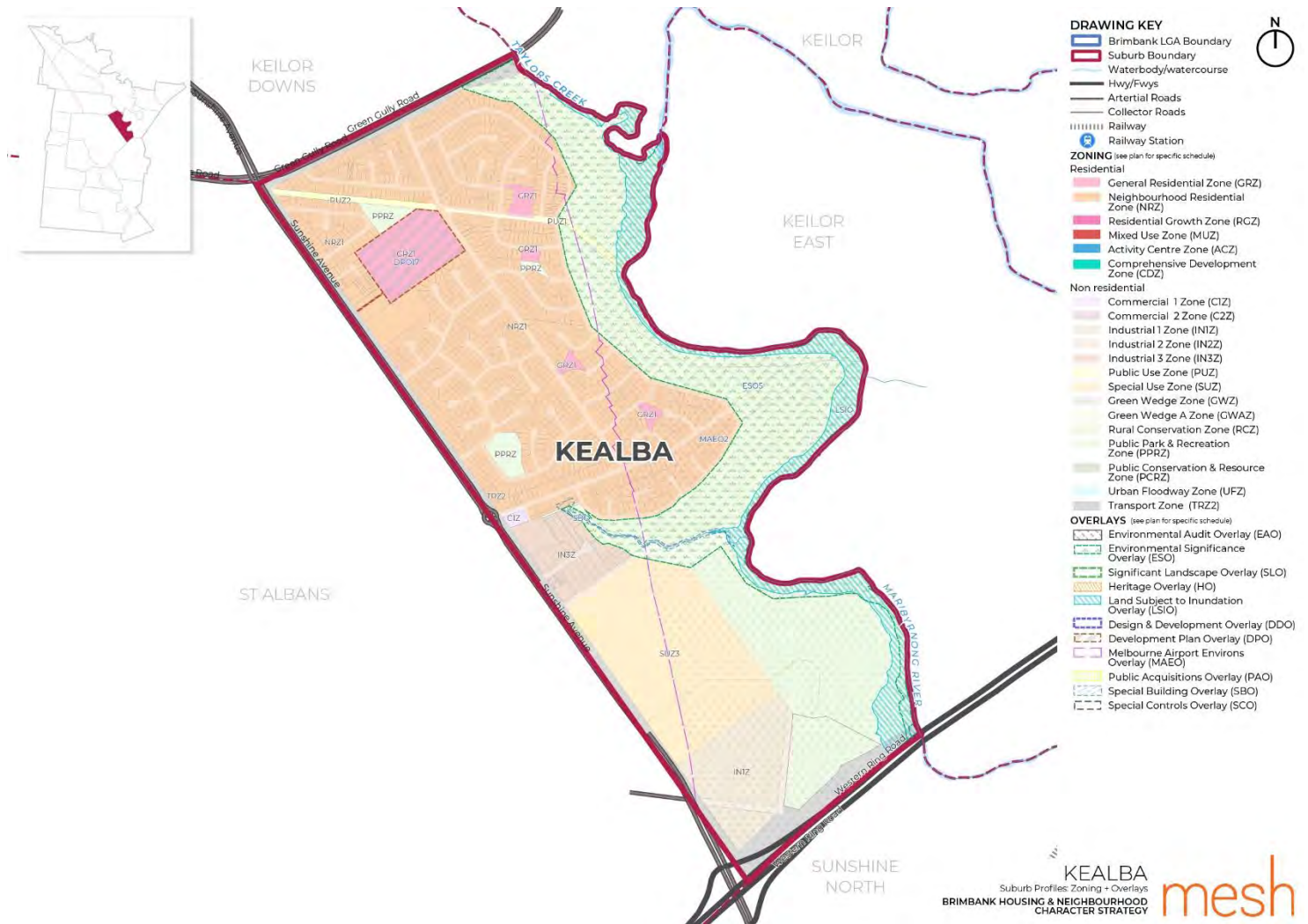


Figure 30: Kealba - (Left) Gable roof styles. (Centre) Typical dwelling along Driscolls Road. (Right) Contemporary development along Rowan Drive.



Existing Suburb Character Description

A mix of single and double storey detached dwellings which are typically situated on small to moderate sized lots.

Architectural styles are diverse with greater variety in proximity to the Maribyrnong River.

Building heights and massing also increases in proximity to the Maribyrnong River where dwellings take advantage of the view lines.

Moderate landscaping of front gardens results in mixed species selection at varying heights. Elevated topography adjoining the escarpment to Maribyrnong River provides views to the Melbourne CBD. A curvilinear street network with wide streetscapes contributes to an overall spacious setting.

The suburb is largely residential, with a small portion of industrial land associated with Boral Landfill situated in the south. There are limited vacant sites and contemporary development outcomes. Maribyrnong River bounds the full eastern edge of the suburb. The Western Ring Road adjoins the southern boundary and provides access to Melbourne Airport, Calder Freeway and Melbourne more broadly.

Serviced by local convenience shops, education and recreation facilities. A Development Plan Overlay affects the former school site along Driscolls Road. The Melbourne Airport Environs Overlay affects land in the south eastern corner.

Suburb Contributors and Threats

Contributors

- **Connections to open space:** Visual and physical connection to open space and natural assets.
- **Consistent, complementary colours and materials:** Building styles, roof forms are consistent
- **Consistency of building height:** heights are single storey.
- **Connections to open space:** View lines to both the Maribyrnong River and Melbourne CBD.

Threats

- **Dominant vehicle access and parking:** Double crossovers which are dominant along the interface to Maribyrnong River.
- **Excessive bulk or height:** Contemporary development increases site coverage and scale.

Neighbourhood Character Features

Table 11: Kealba Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none"> • Maribyrnong River bounds the full eastern edge of the suburb. • Topographic height in the east with escarpment to Maribyrnong River. • Residential address to Sunshine Avenue and Green Gully Road.
	Private & public realm landscaping	<ul style="list-style-type: none"> • Moderate landscaped front gardens with lawn. • Front garden landscaping of properties adjoining the Maribyrnong River often impacted upon by double crossovers and additional vehicle parking. • Varied street tree provision. • Often only one or two established trees within the street. • Established street trees are common in central medians of court bowls. <i>Example: Elstree Court.</i> • Recently planted deciduous street trees will increase canopy coverage in the future.
	Street alignment, type & proportions	<ul style="list-style-type: none"> • Residential access via Service Road along Green Gully Road and Sunshine Avenue. • Wide streetscapes contribute to a spacious setting. • Curvilinear street network. • Court bowls often feature central medians.

Features for Assessment		Neighbourhood Feature Observations
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Moderate to generous side setbacks achieve car parking or access to a garage/carport or the rear of property and contain landscaping. Generous front setbacks on both sides of the street. Contemporary development along Rowan Drive and Monarma Walk have minimal front and side setbacks. Front setbacks of properties that address the Maribyrnong River are typically used for additional vehicle parking. Increased site coverage associated with lots that address the Maribyrnong River.
	Building types & height	<ul style="list-style-type: none"> Low rise predominately single storey detached dwellings. Townhouse or attached dwelling typologies are not common and occur in an isolated area adjoining Rowan Drive. Some double storey detached dwellings scattered throughout the suburb. Dwellings along Orbital and Rowan Drive are typically double storey.
	Lot size	<ul style="list-style-type: none"> Predominately 500–650sqm lots. Some 300–500sqm in the northeast adjoining the Maribyrnong River.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Front fencing is common, typically low to moderate in height with moderate levels of permeability. Front fences increase in occurrence along main local roads. <i>Example: Driscolls Road.</i> Front fences are more permeable away from main roads and within court bowls. Fencing materials are typically brick or metal 'pool style' with timber feature panelling.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Single or double garages are common. Garages integrate with the built form as part of brick dwellings. Carports often achieved as an add-on to the original dwelling. Predominately single crossovers with double crossovers more common on lots addressing the Maribyrnong River. Dedicated lanes for on-street car parking along Driscolls Road.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Predominately 1980s era with very limited contemporary development outcomes. Limited contemporary development to the southeast (Orbital Drive) and east.
	Building materiality & quality	<ul style="list-style-type: none"> Brick veneer typically of red, orange and cream colours. Limited use of render, typically in grey tones. Diverse architectural styles more prominent in larger scale double storey dwellings. Varying building maintenance along Orbital Drive. Brick dwellings largely of good quality.
	Roof styles, materials & colours	<ul style="list-style-type: none"> Predominately tiled hip and gable roof styles. Terracotta and grey tile materials throughout. Gable roof styles often associated with double storey dwellings. Garages and carports predominately flat or hip roof styles. Limited emerging roof styles throughout the suburb. Eaves are common as part of both single and double storey dwellings. Limited instances of solar panels on roofs.

Features for Assessment		Neighbourhood Feature Observations
Notable Features	Details of the footpath & street	<ul style="list-style-type: none">• Pedestrian paths on both sides of the street connect to open space and broader street network.• Pedestrian paths along residential side of road interface with the Maribyrnong River.• Limited pedestrian connections down the escarpment.

Keilor

Zones and Overlay Plan

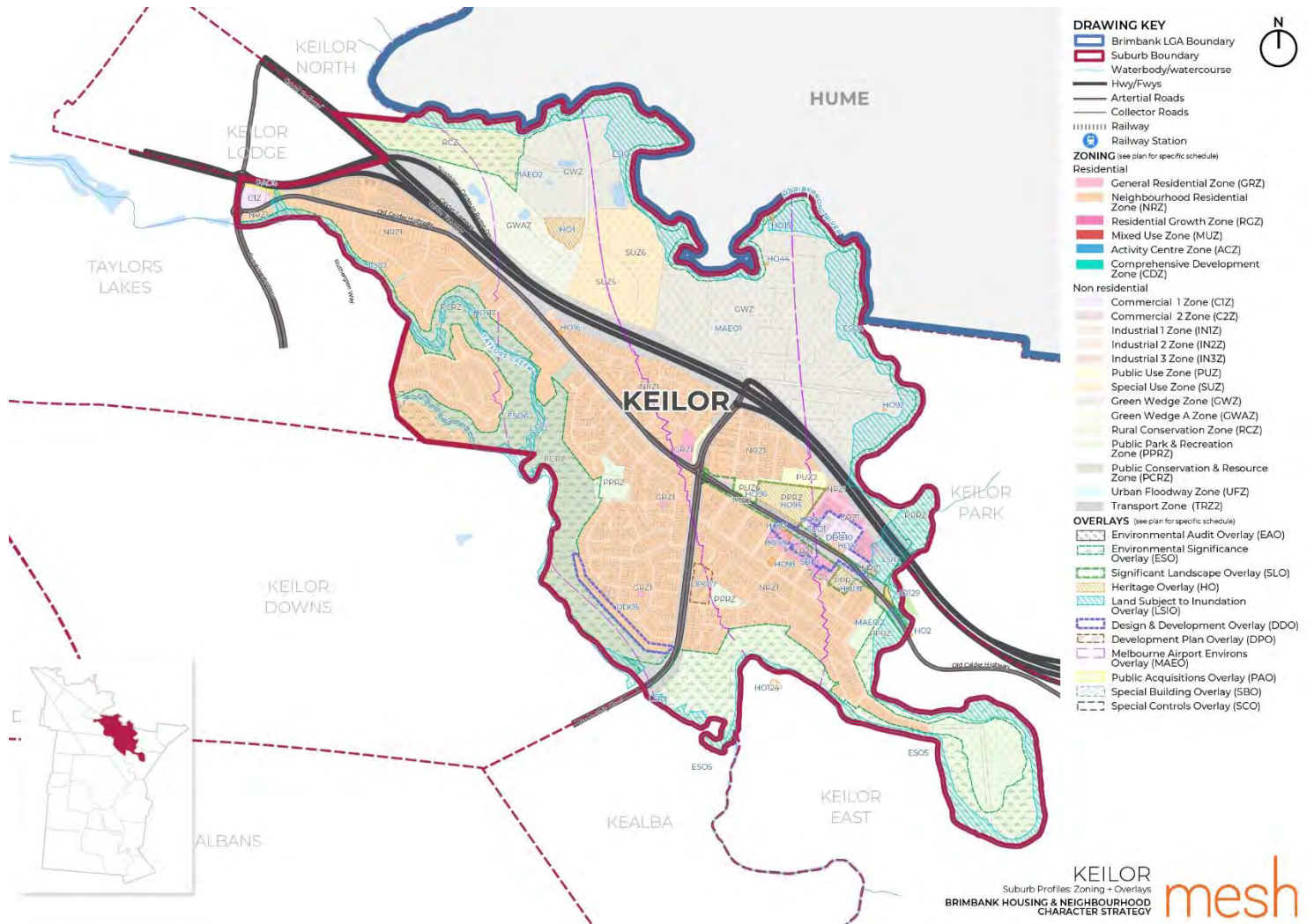


Figure 31: Keilor - (Left) Dwelling with double crossover. (Centre) Generous front setback along Feathertop Drive. (Right) Contemporary development along Patterson Avenue.



Existing Suburb Character Description

A green and spacious setting achieved by street tree planting and generous private realm landscaping. Large canopy streets, varied species selection and expanses of lawn are contained in well-maintained front garden landscaping.

Dwellings typically follow the slope of the land and result in varied building levels and address the street.

Residential areas are characterised by large dwellings that are generally highly articulated with large windows which capture views to the surrounding natural environment.

Infill development appears to be concentrated around Patterson Avenue, where it achieves varied integration with the street and traditional housing stock. Renovation and redevelopment of detached dwellings is evident throughout the suburb, particularly adjoining Keilor Village Shopping Precinct.

Key connector roads separate residential areas from each other. Keilor is surrounded by Taylors Creek, the Maribyrnong River and adjoining parklands which creates strong physical and visual links to the natural environment. There is mixed interface and access to natural features as a result of topographic variation.

Keilor Village Shopping Precinct is enclosed by undulating topography, particularly northeast and southwest. Several local open spaces and two education facilities are located within the suburb. A large scale aged care facility is accessed from Old Calder Highway. The aged care facility is largely screened by adjoining residential development. Abuttal to the Calder Freeway results in a number of irregular triangle style lots with a limited interface with the street

The area is predominately affected by the Melbourne Airport Environs Overlay. A Special Building Overlay and Design and Development Overlay affect residential land abutting Keilor Village Shopping Precinct. A small area is affected by a Development Plan Overlay adjoining Green Gully Road. Heritage dwellings are scattered in lower areas adjoining Keilor Village Shopping Precinct and Old Calder Highway. A Significant Landscape Overlay covers the Old Calder Highway and adjoining open space reserves.

Suburb Contributors and Threats

Contributors

- **Consistency of siting, setbacks and site coverage:** Contemporary development provides front and side setbacks in keeping with traditional housing stock.
- **Connections to open space:** Wide landscape setting creates views to natural assets and Keilor Village.
- **Vegetation and landscaping:** Private front gardens contribute to a landscape setting.
- **Consistent, complementary colours and materials:** Articulated façades with large windows and high quality materials and finishes.

Threats

- **Limited connectivity or accessibility:** Back of fence treatments to Taylors Creek and Maribyrnong River limit active interface and address.
- **Excessive bulk or height:** Increased site coverage with large driveways and areas of impervious surfaces.
- **Excessive bulk or height:** Larger lots are often subdivided as part of contemporary infill development.
- **Excessive bulk or height:** Contemporary development often achieves increased visual bulk to the street and natural environment as a result of vegetation removal and limited landscaping.

Neighbourhood Character Features

Table 12: Keilor Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none"> Green Gully Road dissects the centre of the suburb. Service road provides lot access and frontage. Taylor's Creek and the Maribyrnong River provide natural boundaries along the south and east. Significant topographic variation. Residential areas adjoin the local activity centre. Back of fence treatments are typical to open space reserves. Calder Freeway separates residential and Green Wedge Zoned land.
	Private & public realm landscaping	<ul style="list-style-type: none"> Street planting on most streets with varying levels of canopy tree coverage. Mixed street tree species selection. Established trees within central medians of court bowls. <i>Example: Huon Court.</i> Moderate to generous front garden landscaping typically containing areas of lawn and formalised garden beds. Canopy trees within front and rear landscaping. Established trees within some front gardens. <i>Example: Petrik Drive, Arabin Street and Feathertop Street.</i> Well-maintained nature strips and front gardens.
	Street alignment, type & proportions	<ul style="list-style-type: none"> Curvilinear road network with key links to Green Gully Road and Old Calder Highway. Topographic variation results in dead-end style treatments and long block lengths. Pedestrian paths on both sides of the street, connecting to open space and the broader street network. Wide streets consistent throughout the suburb. <i>Example: Petrik Drive.</i>
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Moderate to generous front setbacks. Moderate side setbacks provide vehicle parking or access to garages/carports. Minimal side setbacks typical for small lot sizes west of Green Gully Road. Generous setbacks to the south of the activity centre, typically associated with topographic variation. Contemporary development retains existing street setbacks. <i>Example: Patterson Avenue.</i> Dwellings typically achieve increased site coverage and building bulk.
	Building types & height	<ul style="list-style-type: none"> Low rise predominately single and double storey detached dwellings. Predominately double storey dwellings along Church Street. Taller building heights would likely obscure existing views to tree tops and open space.
	Lot size	<ul style="list-style-type: none"> Predominately 500–650sqm lots to the south. Larger lots of 1000sqm in the northwest, centre and northeast. Reduced lot sizes as a result of contemporary development around Patterson Avenue.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Varied instances of front fencing. Areas in the southwest have limited front fencing outcomes. Front fencing is often moderate to high in scale in brick materials with ornate metal details. Some instances of timber and 'pool style' front fences. Fencing height increases and permeability decreases adjoining Old Calder Highway.

Features for Assessment		Neighbourhood Feature Observations
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Garages typically integrated with the built form. Carports typically occur as part of dwellings west of Green Gully Road. A mixture of single and double crossovers. Double crossovers typically achieved as part of larger lots. Crossovers impact on street trees and nature strips. <i>Example: Watson Rise.</i> Attached double garages are a prominent feature, located in line with or in front of dwelling façades. Driveways are a prominent feature and often achieve parking for multiple vehicles.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Varied eras of development. 1990s era in the north. 1980s to 2000s era in central areas. 1970s era and more recent contemporary development along Patterson Avenue.
	Building materiality & quality	<ul style="list-style-type: none"> Architectural styles vary from brick veneer to contemporary brick. Predominately orange and brown brick colours. Light coloured timber materials typically used in contemporary development. Some historical architectural allusions. Topographic variation affects architectural styles and building form.
	Roof styles, materials & colours	<ul style="list-style-type: none"> Predominately hip and gable roof styles in dark and terracotta tiles. Integrated garages and carports typically with flat or hip roof styles. Eaves are common and as part of more recent development. Solar panels on roofs are common.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> Pedestrian paths on both sides of the street, connecting to open space and the street network.

Keilor Downs

Zones and Overlay Plan

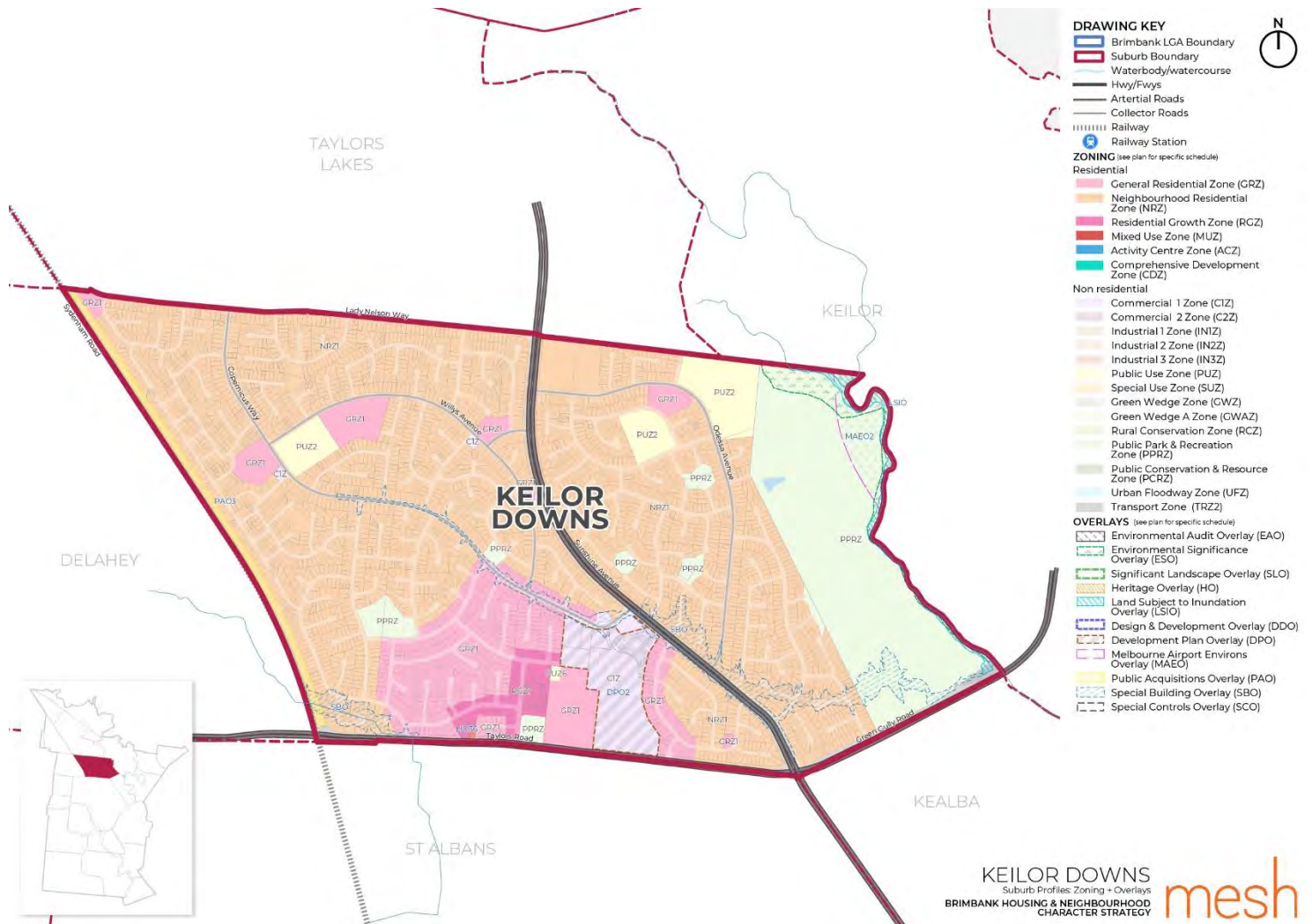


Figure 32: Keilor Downs - (Left) Spacious streets north of Copernicus Way. (Centre) Contemporary infill development north of the shopping centre. (Left) Palm trees within the private realm and generous front landscaping.



Existing Suburb Character Description

Housing typologies are similar, predominately single and double storey detached dwellings. Building styles are reflective of development from the late 1970s and 2000s. Revitalisation and renovation to older building styles by property owners throughout the suburb.

Characterised by dwellings on moderate to large lots with generally well-established and maintained front gardens.

Established palm trees are visible across the suburb. Dwellings typically feature highly articulated facades with large windows. There is an eclectic mix of architectural styles ranging from brick veneer to rendered brick, concrete, and some instances of brick and timber board facades.

The road network includes curved roads with footpaths on both sides. Shorter streets and cul-de-sacs are typically narrower in width and often lack footpaths. Prominent fencing along key streets usually tapers off as part of the finer grain road network. This contributes to an overall spacious garden setting.

Keilor Downs is host to Keilor Central Shopping Centre, Brimbank Aquatic and Wellness Centre, and several schools, churches, and local parks, the suburb provides a range of service, leisure and convenience assets for the community. Green Gully Reserve provides a substantial active open space asset. The Keilor Shopping Centre and surrounding land parcels to the north are covered by an Urban Design Framework and Development Plan Overlay (Schedule 2). A Heritage Overlay affects a residential property along Taylors Road.

Suburb Contributors and Threats

Contributors

- **Integrated infill development** Contemporary development around Keilor Central Shopping Centre creates a new pocket of medium density townhouse typologies that diversifies both residential and mixed use development.
- **Vegetation and landscaping:** Canopy tree coverage contributes to a garden setting.
- **Vegetation and landscaping:** Sense of spaciousness as a result of private realm landscaping in front, side and rear setbacks.
- **Street layout:** Curved road network creates a local neighbourhood feel.

Threats

- **High fencing:** High impermeable fencing creates a poor residential interface with Taylors Road and Sunshine Avenue.
- **Change in materiality or style:** Roller shutter treatments over windows reduce connection and visual permeability with the street.
- **Excessive bulk or height:** Scale and siting of infill development is inconsistent with traditional housing stock.

Neighbourhood Character Features

Table 13: Keilor Downs Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none"> New medium density townhouse development north of Keilor Central, which is unique to the suburb. Limited residential active interface to the rail line or pedestrian connectivity. Limited dwelling style, height and setback variation between Keilor Downs and Keilor Lodge along Lady Nelson Way. Limited active address to Taylors Road, Green Gully Reserve, the leisure centre or Keilor Central Shopping Centre. Limited active frontage to Sunshine Avenue with limited pedestrian connectivity and accessibility.
	Private & public realm landscaping	<ul style="list-style-type: none"> Generous front and rear gardens. Palm trees are an identifiable feature of the street and private gardens. Vegetable gardens frequently feature in front setbacks.
	Street alignment, type & proportions	<ul style="list-style-type: none"> Curvilinear street layout with cul-de-sac pattern. Short streets and court bowls that are narrow in width. Spacious main roads.
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Generous front setbacks are consistent on both sides of the road. Generous backyards that often contain garages and sheds. Side setbacks with minimal landscaping.
	Building types & height	<ul style="list-style-type: none"> Predominantly single and double storey dwellings. Medium density townhouse typology around Keilor Central Shopping Centre (three storey height).
	Lot size	<ul style="list-style-type: none"> Moderate to large lots, generally 650–1000sqm. Unit developments occur throughout; typically 2–3 unit outcomes.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Limited instances of front fencing. Rare instances of medium height fencing, typically of brick and/or ornate metal material. Colorbond steel high fencing along the side and rear of dwellings, typically cream and light green in colour.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Garages often integrated with built form and aligned with front building façade. Generous width driveways provide for additional off-street car parking. Single crossovers.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Late 1970 to 1980s era development. Emerging new 2000s and more recent development in the immediate vicinity of Keilor Central Shopping Centre.
	Building materiality & quality	<ul style="list-style-type: none"> Variety of brick in brown, orange and cream colours. Render and concrete materials in contemporary developments, typically grey and white in colour. Highly articulated facades with large windows and positive address to street frontage.

Features for Assessment		Neighbourhood Feature Observations
		<ul style="list-style-type: none">• Roller shutter treatment on front and side windows.
	Roof styles, materials & colours	<ul style="list-style-type: none">• Predominantly tiled hipped, gable roofs; a small number of Dutch roof styles.• Mixed roofing materials and colours, largely terracotta and black tile.• Eaves are common as part of traditional single storey dwellings.• Limited instances of solar panels.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none">• Landscaping is present to the street edge.• Short streets and court bowls often lack footpaths on both sides.• Mixed street trees with frequency of street tree planting increasing in the north.

Keilor Lodge Zones and Overlay Plan

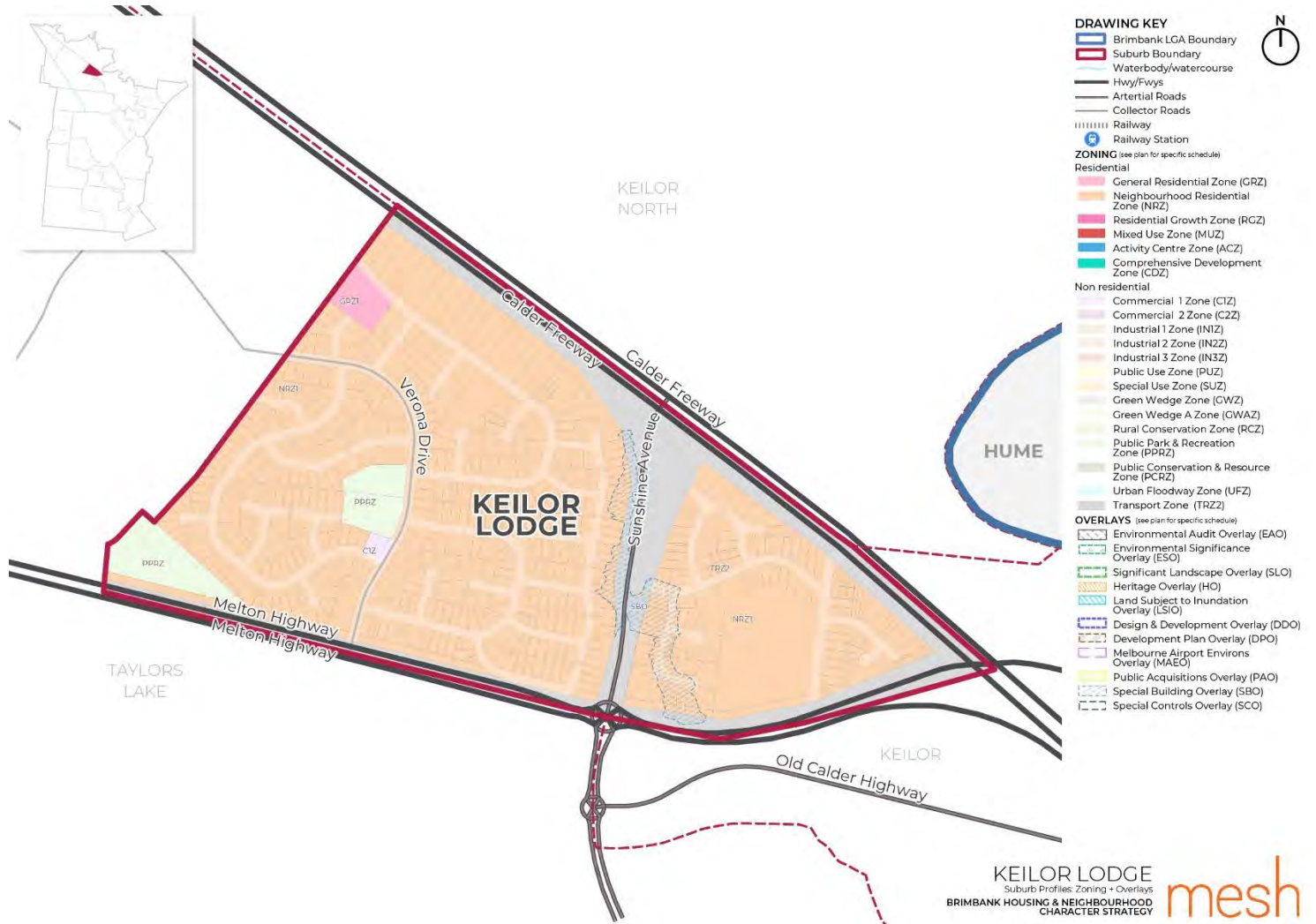


Figure 33: Keilor Lodge - (Left) Dominant front garages and canopy trees within the private realm. (Centre) Diverse building styles. (Right) Generous front gardens.



Existing Suburb Character Description

Predominately homogenous housing typologies that are predominately single and double storey detached dwellings. Buildings feature brick and rendered materials, large expansive windows and articulated facades.

Wide streets with well-maintained nature strips and adjoining moderate scale front landscaping creates a spacious garden setting.

Characterised by larger dwellings on moderate to large lots, there are limited examples of infill development. A small quantity of townhouse typologies within Santa Monica Drive achieve building styles, material selection and setbacks in keeping with adjoining detached dwellings.

Pedestrian paths are achieved along key local roads but are limited as part of dead-end streets. Pedestrian connectivity between dead-end streets is achieved via access lanes that connect through to open space. Limited footpath provision extends lawns and gardens to the roadway, accentuating the width of the streetscape.

Large scale residential development on corner lots often results in address to both streets and crossovers on both streets which provide front and side vehicle access. Corner dwellings often achieve access to rear garages or private open space from both streets.

Suburb Contributors and Threats

Contributors

- **Street Layout:** Wide road widths contribute to a spacious landscape setting.
- **Street Layout:** Garages and carports provide ample opportunity for off-street vehicle parking, reducing on-street parking and accentuating the streetscape width.
- **Connections to open space:** Pedestrian connections between dead-end roads create a walkable neighbourhood with strong links to public open space.
- **Vegetation and landscaping:** Landscaping and canopy tree provision within private open space contributes to the streetscape.
- **Consistent, complementary colours and materials:** Good quality and well-maintained dwellings.

Threats

- **Limited connectivity or accessibility:** Limited pedestrian paths on local roads reduces connectivity and pedestrian safety.
- **Excessive bulk or height:** Increased building bulk and scale increases site coverage and areas of impervious surfaces.

Neighbourhood Character Features

Table 14: Keilor Lodge Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none">• Calder Freeway provides a hard boundary to Keilor North.• Melton Highway extends the length of the suburb's southern boundary.• Back of fence treatment to Sunshine Avenue. Sunshine Avenue divides the suburb.
	Private & public realm landscaping	<ul style="list-style-type: none">• Varied levels and species selection of street trees.• Established canopy trees are limited across the suburb.• Moderate front garden landscaping outcomes, typically formalised garden beds with low level shrubs, a canopy tree and an expansive lawn.
	Street alignment, type proportions	<ul style="list-style-type: none">• Curvilinear dead-end style street network.• Pedestrian connections provided between dead-end roads.• Wide road widths with limited pedestrian paths.• Pedestrian paths provided on main local roads only.
Built Form	Setbacks & site coverage	<ul style="list-style-type: none">• Varied but generous front setbacks.• Limited pattern or uniformity to dwelling setbacks within the street.• Typically minimal side setbacks due to increased building bulk.

Features for Assessment		Neighbourhood Feature Observations
		<ul style="list-style-type: none"> Some instances of moderate setbacks achieving vehicle parking. Instances of walls to boundaries, typically a result of increased bulk form bulk and scale.
	Building types & height	<ul style="list-style-type: none"> Low rise, mix of single and double storey detached dwellings. Double storey dwellings are more dominant on larger lot sizes, particularly adjoining the Calder Freeway. Limited townhouse typologies, limited provision on Santa Monica Drive.
	Lot size	<ul style="list-style-type: none"> Predominately 650–800sqm lots. Lots greater than 1000sqm adjoining the Calder Freeway. <i>Example: Nordic Avenue.</i>
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Limited front fencing. Infrequent low scale permeable fencing typically used as edging to a formalised garden. Hedging often used to separate gardens from the footpath/street. Some instances of medium scale permeable orange brick fencing with ornate metal details on larger lots.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> A mixture of single and double crossovers. Dual crossovers achieve loop driveways or access to multiple garages. Side setbacks often achieve vehicle parking. Townhouses and units achieve access via single or double crossovers. Garages do not dominate the building façade.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Predominately 1990s to 2000s builds. Limited contemporary infill development.
	Building materiality & quality	<ul style="list-style-type: none"> Predominately brick dwellings of orange and cream colours. Concrete and rendered dwellings typically in cream and grey tones. High levels of building quality and maintenance. Mixed architectural styles and massing.
	Roof styles, materials & colours	<ul style="list-style-type: none"> Predominately hip roof style with terracotta and dark tile material. Mixture of other roof styles including gable, dutch, flat and shed styles. Eaves are common in dwellings even with varied roof styles. Limited instances of solar panels on roofs.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> Pedestrian paths typically on a single side of the street. Pedestrian paths on both sides of the street on main roads. <i>Example: Verona Drive.</i>

Keilor Park

Zones and Overlay Plan

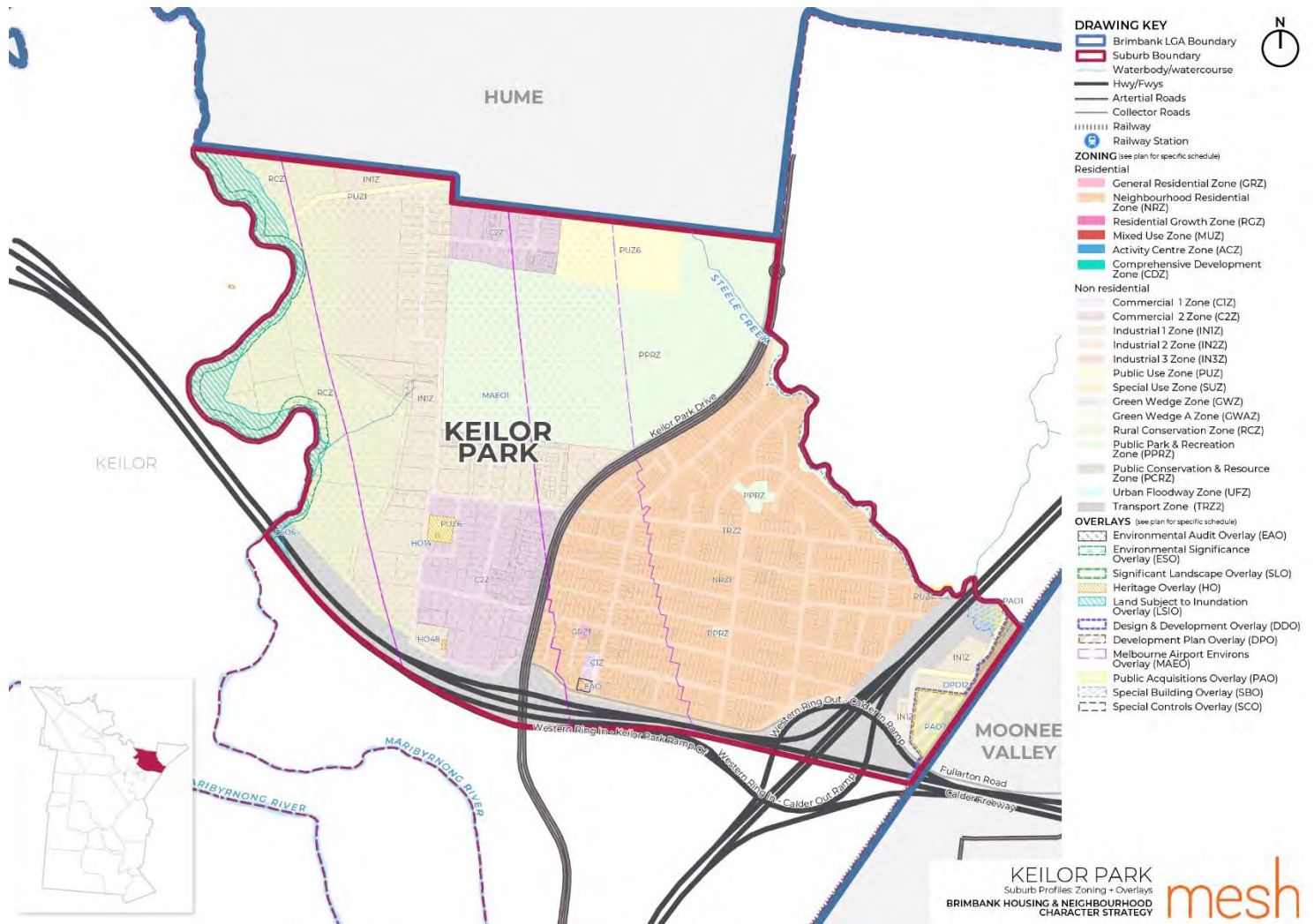


Figure 34: Keilor Park – (Left) Typical dwelling with roller shutters limiting passive surveillance of the street. (Centre) Dwellings adjoining the creek line. (Right) Contemporary development next to traditional housing stock.



Existing Suburb Character Description

Predominately single detached dwellings with emerging double storey contemporary redevelopment and townhouse typologies. Contemporary infill development in the form of townhouses and units is scattered throughout and found at greater instances immediately north of Fullarton Road. Infill development varies dwelling siting and material palettes of traditional housing stock.

Residential development is isolated from adjoining residential areas as a result of abutting industrial development and major road infrastructure.

Steele Creek creates a natural separation between residential and industrial zones. Abutting industrial development, road infrastructure and the creek corridor contributes to a sense of containment and enclosure of the residential area.

Detached dwellings are typically situated on small to moderate size lots with varied levels of planting and species selection within front garden landscaping. Topography variation in the north results in higher instances of retaining walls and fence treatments to the street. There is limited address to Steele Creek and the linear creek corridor in the north.

The suburb is serviced by local convenience shops and recreation provision. Limited connectivity is provided to Keilor Recreation Reserve in the west. An Environmental Audit Overlay covers a single property adjoining Fullarton Road. The Melbourne Airport Environs Overlay affects properties in the south-west.

Suburb Contributors and Threats

Contributors

- **Consistent, complementary colours and materials:** Consistent brick materials in cream and orange colours.
- **Vegetation and landscaping:** Tidy private gardens and well-maintained nature strips.
- **Low to moderate height front fencing:** Permeable and low front fences.
- **Street layout:** Grid based road network with strong local pedestrian connections.

Threats

- **High fencing:** Large solid fencing which disrupts the rhythm of the street.
- **Limited connectivity or accessibility:** Poor accessibility to adjoining residential areas and Brimbank more broadly.
- **Excessive bulk or height:** Bulky units with minimal setbacks that are not in keeping with the surrounding spacious residential area.

Neighbourhood Character Features

Table 15: Keilor Park Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none">• Back of fence interface along full interface with Keilor Park Drive.• Fullarton Road separates residential land and the Calder Freeway.• Creek line and varied topography separates residential land and industrial uses.• Back of fence interface to Western Ring Road.
	Private & public realm landscaping	<ul style="list-style-type: none">• Varied levels of street planting. Streets trees occur on most streets.• Limited canopy tree coverage.• Large established trees adjoin Keilor Park Preschool.• Established trees often form part of front landscaping.• Minimal to moderate front landscaping typically with expanses of lawn and low rise planting.• Minimal landscaping predominately associated with townhouse typologies.

Features for Assessment		Neighbourhood Feature Observations
Built Form Scale and Character	Street alignment, type & proportions	<ul style="list-style-type: none"> Unconventional grid based street network. Dead-end style treatments about Keilor Park Drive and Western Ring Road. Limited instances of courts with a central median. Wide streets allow for vehicle parking on both sides.
	Setbacks & site coverage	<ul style="list-style-type: none"> Traditional housing stock with moderate front setbacks. Contemporary development and townhouse typologies with minimal front setbacks. Generous front setbacks in the north typically a result of topographic influence on building siting. Instances of dwellings set back on an angle from the street. <i>Example: Fosters Road.</i> Minimal to moderate side setbacks sometimes achieving vehicle parking or access. Some instances of walls on boundaries.
	Building types & height	<ul style="list-style-type: none"> Low rise, typically single storey detached dwellings. Double storey dwellings typically townhouse typologies or contemporary development. Older style unit typologies in the north along Fosters Road. Emerging contemporary infill development with townhouse typologies, typically 1–2 on a lot.
	Lot size	<ul style="list-style-type: none"> Predominately 500–650sqm and 650–800sqm lots. Lots under 400sqm and lots above 650sqm are limited. Lots less than 300sqm are typical of infill development.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Low to moderate height permeable fencing is common. Typically brick in material with ornate metal details. Limited high fences with reduced permeability in the northeast, typically orange and brown in colour. Stone retaining walls exist on lots towards Steele Creek. Side fencing is a prominent feature on corner lots.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Side setbacks typically provide garages and carports. Predominately single crossovers. Garages are typically integrated with the built form. Townhouses and units achieve access via shared driveways and common property.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Predominantly 1970s and 1980s era. Emerging contemporary infill development, particularly in the south.
	Building materiality & quality	<ul style="list-style-type: none"> Brick dwellings typically of orange and cream colours. Traditional housing stock achieves consistent styles and materiality. Slope responsive development towards Steele Creek. Mixed building materials adjoining Fullarton Road. Roller shutters are evident throughout.
	Roof styles, materials & colours	<ul style="list-style-type: none"> Predominately hip style roofs with dark/grey tile. Contemporary developments retain hip roof styles. Garages/carports often achieve flat roof styles. Eaves are common on dwellings. Limited instances of solar panels on roofs.

Features for Assessment		Neighbourhood Feature Observations
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> Pedestrian paths on both sides of the streets. Streetscapes are uniform throughout the suburb Limited pedestrian connectivity to residential development to the south and to the recreation reserve in the northwest.

Kings Park

Zones and Overlay Plan

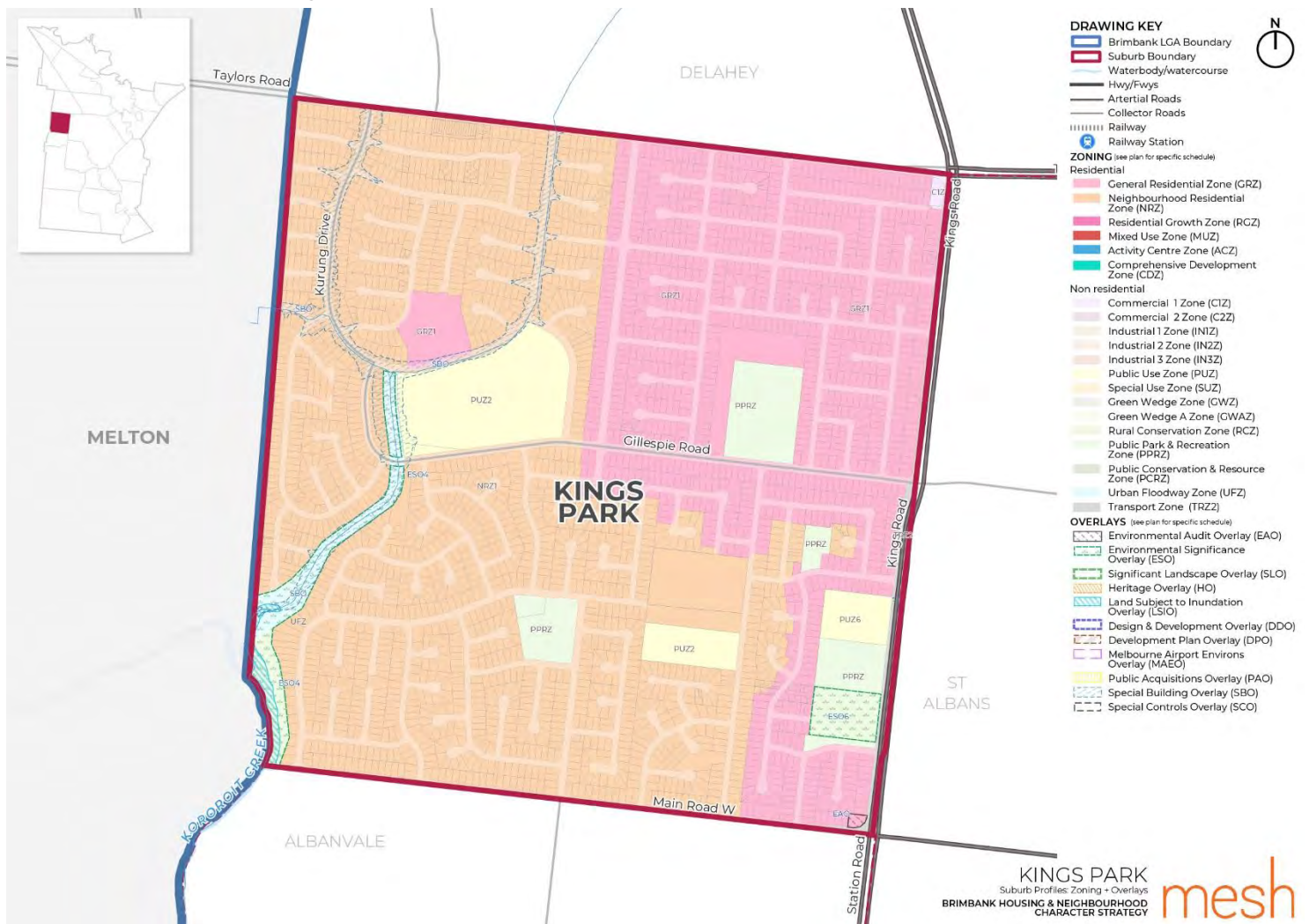


Figure 35: Kings Park - (Left) Typical dwelling with moderate front setback and roller shutters on front windows. (Centre) Moderate fencing in brick material. (Right) Front setbacks used for additional car parking.



Existing Suburb Character Description

Building styles are predominately consistent and achieve similar architectural styles, roof styles and colour selection. Housing typologies are typically single storey detached dwellings.

Moderate front setbacks, low scale building heights and wide streets create a spacious setting.

Predominately brick dwellings in varied colours. Dwellings feature large open windows, often with roller shutters. Revitalisation and renovation by property owners is evident and typically introduces rendered finishes. Dwellings feature similar architectural styles, scale and roof styles as the adjoining suburb of Delahey.

A varied street network with dead-end and court bowl style treatments. Streetscapes often lack footpaths. Front setbacks are frequently used for additional vehicle parking, which limits landscaping scale and species variation.

The suburb is predominately residential with very limited vacant sites or areas undergoing change or transition. A small convenience centre, a range of education facilities and a series of open space reserves provide land use variation and amenity to residents.

A Special Building Overlay affects land in the north. An Environmental Significance Overlay protects a waterway corridor in the west and an open space reserve in the south-eastern corner.

Suburb Contributors and Threats

Contributors

- **Consistent, complementary colours and materials:** Similar architectural styles, colours and material palette creates visual consistency across the suburb.
- **Consistency of siting, setbacks and site coverage:** Detached dwellings create breaks between built form and moderate setbacks which contribute to a low scale and spacious setting.
- **Street layout:** Wide streets create a spacious setting.

Threats

- **High fencing:** Dominant fencing styles with reduced permeability.
- **Dominant vehicle access and parking:** Dominant areas within front setbacks which are used for additional vehicle parking.
- **Inadequate landscaping:** Limited variation in private realm species selection or canopy tree provision.

Neighbourhood Character Features

Table 16: Kings Park Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none">• Residential frontage to Taylors Road, Kings Road and Main Road West.• Back of fence interface to Burnside Heights. No through vehicle connections and limited pedestrian connections.• Back of fence interface and limited connectivity to Kororoit Creek and the linear drainage reserve in the southwest.
	Private & public realm landscaping	<ul style="list-style-type: none">• Limited street tree provision.• Established street trees are typically the only street trees.• Minimal front garden planting, typically only lawn with some low rise planting.• Sparse street trees with no consistent theme for planting when street tree planting does occur.• Landscaping and species variation often impacted upon by driveways and vehicle parking.
	Street alignment, type & proportions	<ul style="list-style-type: none">• Varied street network. Some instances of unconventional grid network.• Dead-end style roads and court bowls are typical.• Wide streets.

Features for Assessment		Neighbourhood Feature Observations
		<ul style="list-style-type: none"> Curved streets create larger irregular shaped lots, particularly as part of a dead-end style roads.
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Minimal - moderate side setbacks often with vehicle parking or access. Minimal side setbacks typically a result of irregular and narrow style lots. Moderate to generous scale front setbacks. Varied site coverage. Consistent setbacks along the street.
	Building types & height	<ul style="list-style-type: none"> Low rise, predominately single storey detached dwellings. Limited townhouse typologies throughout. Example: <i>Taylor's Road</i>. Older style duplex units and dual occupancy typologies in the south adjoining Nariel Road.
	Lot size	<ul style="list-style-type: none"> Predominately 500–600sqm. Irregular shaped lots and lots adjoining Kororoit Creek typically larger.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Front fences are common. Fencing is typically medium height and permeable. Some instances of reduced permeability, particularly along key roads. Fencing materials vary. Brick, timber and Colorbond materials are common.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Predominately single crossovers. Side setbacks provide vehicle parking and often access to the rear of properties. Carports are more common than integrated garages. Carports are often deep, providing multi-vehicle parking. Front setbacks are typically used for additional vehicle parking.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Predominately 1980s to 2000s. Limited contemporary or infill development. Evident revitalisation of older properties.
	Building materiality & quality	<ul style="list-style-type: none"> Predominately brick dwellings in orange and cream colours. Rendered dwellings typically in cream and grey tones.
	Roof styles, materials & colours	<ul style="list-style-type: none"> Predominately hip style roofs. Variety of roof colours, typically terracotta, grey or brown. Tile a key material. Some instances of gable styles. Eaves are typical as part of dwellings. Limited instances of solar panels on roofs.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> Pedestrian paths provided on most streets. Pedestrian paths in the north limited to key local roads only.

St Albans

Zones and Overlay Plan

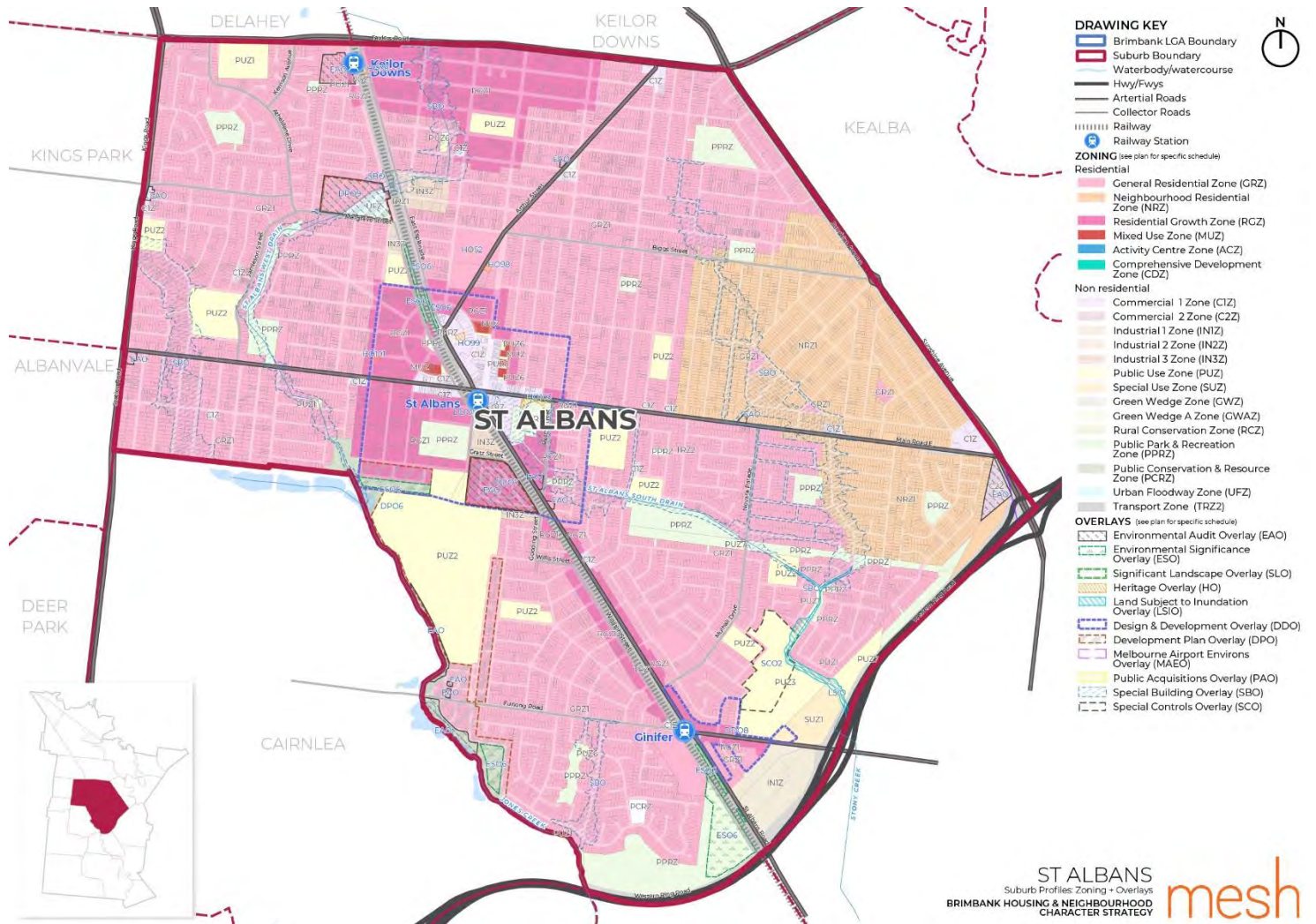


Figure 36: St Albans - (Left) Traditional Housing Stock with pool style fence. (Centre). Contemporary development in the south-west adjoining McKechnie Street. (Right) Attached townhouse typologies.



Existing Suburb Character Description

Mixture of traditional housing stock and more contemporary development. Townhouse and unit developments are scattered throughout and found at greater instances in proximity to the St Albans Activity Centre. Various small scale and larger vacant sites exist. Larger sites often achieve integrated redevelopment outcomes. This is particularly evident adjoining the Victoria University Campus in the southeast.

Architectural styles are diverse and reflective of the contemporary redevelopment of traditional housing stock and new infill development.

Traditional housing stock is typically situated on moderately sized lots with varied levels of planting and species selection within front garden landscaping. Contemporary and infill development typically results in a high level of site coverage and dwellings built to the property line. Traditional housing stock is typically retained as dual occupancy or redeveloped into 2–3 new townhouse or unit typologies. There is greater dwelling style and roof style variation than adjoining suburbs.

A predominately residential suburb which is well serviced by three train stations and various bus routes. St Albans includes various education facilities and the Victoria University Campus. The Sunshine Hospital and adjoining health services are located in the south-east. Aged care facilities are located throughout the suburb and along key roads. St Albans Activity Centre, local convenience shopping strips and a small isolated pocket of industrial land provide land use variation.

There is limited dwelling type, colour or material palette difference between dwellings in different residential zones. Contemporary buildings in the south-west are guided by a Development Plan Overlay which results in uniform and similar development. Various Environmental Audit Overlays affect properties throughout St Albans. The Activity Centre and Sunshine Hospital precinct are affected by a Design and Development Overlays

Suburb Contributors and Threats

Contributors

- **Vegetation and landscaping:** Deciduous trees and olive tree planting along streets and within the private realm.
- **Street layout:** Wide streetscapes create a spacious setting.
- **Vegetation and landscaping:** Sense of spaciousness as a result of private realm landscaping in front, side and rear setbacks.

Threats

- **Inadequate landscaping:** Removal of vegetation and minimal areas for landscaping as a result of contemporary and infill development.
- **Dominant vehicle access and parking:** Dominance of car access and parking within side and front setbacks and along the street.
- **Increased built form bulk or scale:** Increased site coverage and impervious surfaces.
- **High fencing:** High fencing and a lack of front garden landscaping.
- **Change in materiality or style:** Roller shutter treatments over windows reduce connection and visual permeability with the street.

Neighbourhood Character Features

Table 17: St Albans Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none">• Predominately active residential interfaces to bounding roads.• Back of fence interface separated by a vegetation buffer along Western Ring Road.• Rail line separates the suburb into eastern and western parts.
	Private & public realm landscaping	<ul style="list-style-type: none">• Minimal street tree and canopy tree provision across the suburb.• Higher instances of street trees associated with new infill development areas or as part of streetscape improvement works.• No consistent theme for street tree planting.• Street tree planting often by individual owners—olive trees/fruit trees.

Features for Assessment		Neighbourhood Feature Observations
Built Form Scale and Character		<ul style="list-style-type: none"> • Wide nature strips with raingardens south of Main Road and west of McKechnie Street. • Minimal to moderate scale front gardens often incorporate fruit trees or vegetable gardens. • Minimal front landscaping as part of contemporary development. • Landscaping often impacted upon by vehicle parking.
	Street alignment, type & proportions	<ul style="list-style-type: none"> • Wider streets south of Main Road. • Narrower streets in northwest. <i>Example: Jamieson Street.</i> • Grid based street network in the north and northeast and southeast. • Court-bowls and curved road network are common in the south and northwest.
	Setbacks & site coverage	<ul style="list-style-type: none"> • Moderate side setbacks as part of traditional housing stock. • Minimal front and side setbacks as part of contemporary development. • Moderate front setbacks on both sides of the street are typical. • Rear setbacks often contain garages or sheds. • Contemporary development achieves increased site coverage. • Multi-unit developments adjoining the activity centre in the south have high levels of impervious surfaces.
	Building types & height	<ul style="list-style-type: none"> • Predominately low rise single storey detached dwellings. • Contemporary development diversifies typology types. This includes attached and detached townhouses, low scale apartments and multi-unit development outcomes. • Traditional housing stock also includes single storey attached unit typologies. • Double storey multi-unit typologies along St Albans Road.
	Lot size	<ul style="list-style-type: none"> • Predominately 500–650sqm lots. • Lots greater than 800sqm predominately found south of Main Road in the west. • Residential density increases in the north. • Higher density outcomes around train stations.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> • Front fencing is common. Typically moderate to low scale and permeable. • Front fencing increases in scale in the east. • Fencing typically of brick materials often with wrought iron details. • Timber style fencing in the south and west. <i>Example: Disraeli Street.</i> • Contemporary development often includes moderate scale front fences in brick materials.
Architectural Styles and Roof Styles	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> • Side setbacks typically feature carports as part of traditional housing stock. • Side setbacks also provide access to rear garages and sheds as part of traditional housing stock. • Carports, garages and sheds typically set back from the dwelling façade as part of traditional housing stock. • Predominately single crossovers. • Garages integrated with built form as part of contemporary development.
	Era of development	<ul style="list-style-type: none"> • Predominately post-war development. • 1970s to 1980s and more contemporary development in the southern and western areas. • Variety of vacant sites throughout.
	Building materiality & quality	<ul style="list-style-type: none"> • Predominately brick dwellings in orange and cream colours. • Contemporary development varies architectural styles and materials. Greater variety in proximity to the activity centre.

Features for Assessment		Neighbourhood Feature Observations
		<ul style="list-style-type: none"> • Observations from the 2019 Neighbourhood Character study are affirmed in respect to the contemporary townhouse development typically featuring mixed materials in muted tones. • Similar architectural styles, colours and forms in south/west – <i>examples Rhodes and Lima Street, Moonstone Circuit, Regan Place.</i>
	Roof styles, materials & colours	<ul style="list-style-type: none"> • Predominately hip roof styles in terracotta or dark tile. • Very limited other roof styles • Eaves are common as part of traditional housing stock which reduces as part of contemporary townhouse development. • Limited solar panels on roofs.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> • Footpaths typical on both sides of the street. • Pedestrian linkages to Cairnlea in the south. • Limited internal east-west connectivity as a result of the rail line. • Streets heavily used for vehicle parking.

Sunshine Zones and Overlay Plan

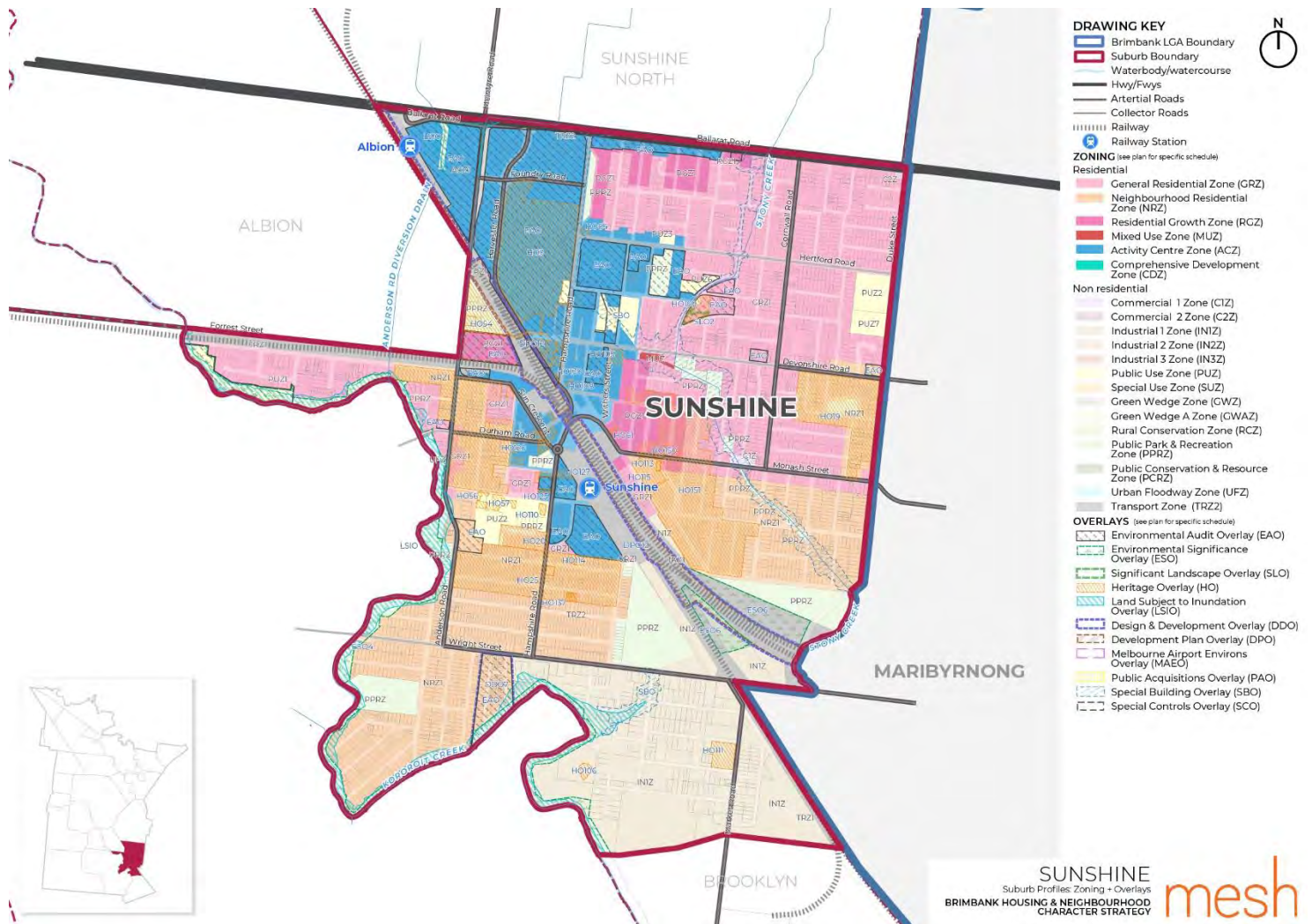


Figure 37: Sunshine - (Left) Heritage Dwellings along Benjamin Street. (Centre) Contemporary townhouses along McCracken Street. (Right) Mixed era development along Fraser Street.



Existing Suburb Character Description

A predominately residential suburb undergoing varied levels of growth and transition as a result of proximity to the Sunshine Activity Centre and infill development of vacant sites. Large quantities of infill residential development have been achieved close to the Activity Centre. Infill residential development associated with the Sunshine Activity Centre has a direct interface with lower scale residential areas.

Despite increasing infill development, there are areas of similar building styles, material selection and setbacks.

Similar building styles, material selection and front setbacks are particularly evident south of the train line and in areas adjoining Herford Road. The train line and key access roads into and through Sunshine Activity Centre split Sunshine into sections. This often results in varying housing typologies, building styles and streetscapes.

Local public open space includes varying levels of embellishments and often achieves a buffer between residential land uses and the train line or commercial land uses. Small pockets of existing industrial and employment-based land uses in the south provide a transition to more heavy industrial land uses adjoining Kororoit Creek. Various education facilities particularly north of the rail line include primary, secondary and university/TAFE campuses.

Heritage protection covers number of dwellings and streets which contributes positively to the streetscape and neighbourhood setting of the immediate area. A Design and Development Overlay affects recently completed infill development in the southwest. A Special Building Overlay affects properties that adjoin a linear drainage reserve south of Ballarat Road. The Environment Audit Overlay affects both commercial, industrial and some residential lots across Sunshine.

Suburb Contributors and Threats

Contributors

- **Street layout:** Wide streets allow for parking on both sides without limiting vehicle movements or pedestrian safety.
- **Street layout:** Pedestrian oriented and permeable road network.
- **Consistent, complementary colours and materials:** Building style and material consistency between Wright Street and Morris Street contributes to character.
- **Vegetation and landscaping:** Street tree planting by individual owners creates a unique sense of place and streetscape variation.
- **Consistent, complementary colours and materials:** Areas of heritage protection contributes to the streetscape and overall character of the suburb.

Threats

- **Limited connectivity or accessibility:** Poor residential interface with Kororoit Creek and relatively little public open space limits connectivity to nature.
- **Poorly integrated retirement villages and aged care facilities:** Scale and siting of aged care and mixed uses abutting lower scale residential areas.
- **Inadequate landscaping:** Minimal landscaping and loss of established vegetation as part of contemporary development.
- **Inadequate landscaping:** Overhead powerlines limit canopy tree establishment.
- **High fencing:** high impermeable fencing to the property line (to screen private open space) along Wright Street that is out of character with surrounding fencing treatments and front setbacks.

Neighbourhood Character Features

Table 18: Sunshine Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none">• Traditional housing stock typically have back of fence interface with open space.• Contemporary development more predominate in the Residential Growth Zone in the south adjoining Queen Circuit and in the southeast in proximity to Monash and Parsons Streets.• Back of fence interface or local roads often provide a boundary between residential and other land uses.

Features for Assessment		Neighbourhood Feature Observations
		<ul style="list-style-type: none"> • Direct residential and other mixed use abuttal to Ballarat Road. • Duke Street provides a local road boundary between Braybrook and Sunshine. Residential development on the eastern side of Duke Street falls within Braybrook. • Residential interface with industrial land uses in the southeast.
	Private & public realm landscaping	<ul style="list-style-type: none"> • Moderate street tree planting with higher instances of established street trees. • Variety of street trees with no consistent planting theme. • Varied nature strip widths resulting in varied street tree planting. • Wider nature strips often retain established street trees. <i>Example: Duke Street.</i> • New street trees as a result of streetscape improvement works. • Street tree planting often appears as a result of planting by individual owners—olive trees and fruit trees. • Minimal to moderate landscaping of front gardens with canopy trees more often within traditional housing stock front gardens. • Varied canopy coverage. Greater canopy coverage in the southeast adjoining Parsons Street. • Nixon Street, Alexander Avenue, Cornwall Street (south of Monash Street) and Moira Street are examples of a tree lined, landscaped setting. • Established trees within the side and rear setbacks of traditional housing stock. • Dwellings in Neighbourhood Residential Zone bounded by Monash Street, Duke Street, Ruby Way and Drayton Street include moderate to generous front garden landscaping • Front gardens often impacted upon by vehicle parking and access. • Palm trees along Victoria Street create a streetscape feature.
	Street alignment, type & proportions	<ul style="list-style-type: none"> • Grid based street network. • Dead end style treatments as a result of abuttal to Kororoit Creek. • Street widths allow for parking on both sides. • Rosedale Place provides a narrow dead-end style street network isolated from broader Sunshine.
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> • Uniformity and consistency of setbacks as part of traditional housing stock. • Moderate side setbacks for traditional housing stock. • Minimal setbacks as part of townhouse typologies. • Moderate to generous front setbacks for traditional housing stock. • Townhouse typologies achieve front setbacks in line with or less than traditional housing stock and often are a dominant building on the street. <i>Example: Station Place, Kinane Crescent, Matthew Street.</i> • Contemporary development (both detached dwellings and townhouse typologies) have minimal front and side setbacks and increased site coverage.
	Building types & height	<ul style="list-style-type: none"> • Traditional housing stock is low rise, predominately single storey dwellings. • Contemporary infill development is low-midrise, 2–3 storey rendered brick dwellings. • Limited instance of mid-rise apartments adjoining Alexandra Avenue. • Areas of heritage protection create unique pockets of building styles and types. • Medium density townhouses and units, dual occupancy, semi-detached and row housing creates diversity. <i>Example: Cobrey Street, Norma Street and Duke Street.</i>
	Lot size	<ul style="list-style-type: none"> • Varied lot sizes with predominately 300–500sqm lots. • Traditional housing stock typically of 500–650sqm. • Lot sizes increase adjoining Kororoit Creek. • Residential density increases in the north and central areas.

Features for Assessment		Neighbourhood Feature Observations
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> • Front fences are common. • Fencing is typically medium height, permeable and consisting of brick, wood or metal finishes. • High impermeable fencing along Wright Street as a result of contemporary development to screen private open space which is inconsistent with fencing along the street.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> • Traditional housing stock typically features carports added on to dwellings within the side setback, set back from the dwelling façade. • Contemporary infill development typically includes garages integrated into the built form. • Concrete driveways dominate the street and impact on street tree provision. • Heritage dwellings typically do not have a carport or garage. Driveways are provided for vehicle parking. • Predominantly single crossovers. Contemporary development often achieves double crossovers.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> • Mix of eras, including heritage, post-war, 1960s, 1970s, 1980s, 1990s and 2000s era development. • Heritage and 1900s to 1940s dwellings in the south and southwest. • Predominately post-war styles north of Monash Street, with some heritage areas. • Contemporary development scattered throughout often includes mock pre-war architectural elements (e.g., weatherboard materials and steel roofs).
	Building materiality & quality	<ul style="list-style-type: none"> • Variety of building styles and materials, increasing in diversity north of the train line and in proximity to Sunshine Activity Centre. • Brick dwellings are typically of orange and cream colours. • Variation in architectural styles, ranging from heritage and post-war to more contemporary styles. • Solar panels and roller shutters are frequent. • Areas with similar building styles and materials between Wright Street and Morris Street.
	Roof styles, materials & colours	<ul style="list-style-type: none"> • Varied roof styles, with hip styles with tile materials most common. • Hip style roofs with Colorbond material an emerging roof style. • Heritage dwellings predominately use tin/Colorbond material. • Eaves and verandas are common as part of traditional housing stock. Some instances of eaves as part of contemporary development. • Solar panels are more common on contemporary development.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> • Grid network provides pedestrian paths on both sides of the street. • Strong pedestrian connections to open space, shared paths and Kororoit Creek. • Limited pedestrian connections across the train line.

Sunshine North Zones and Overlay Plan

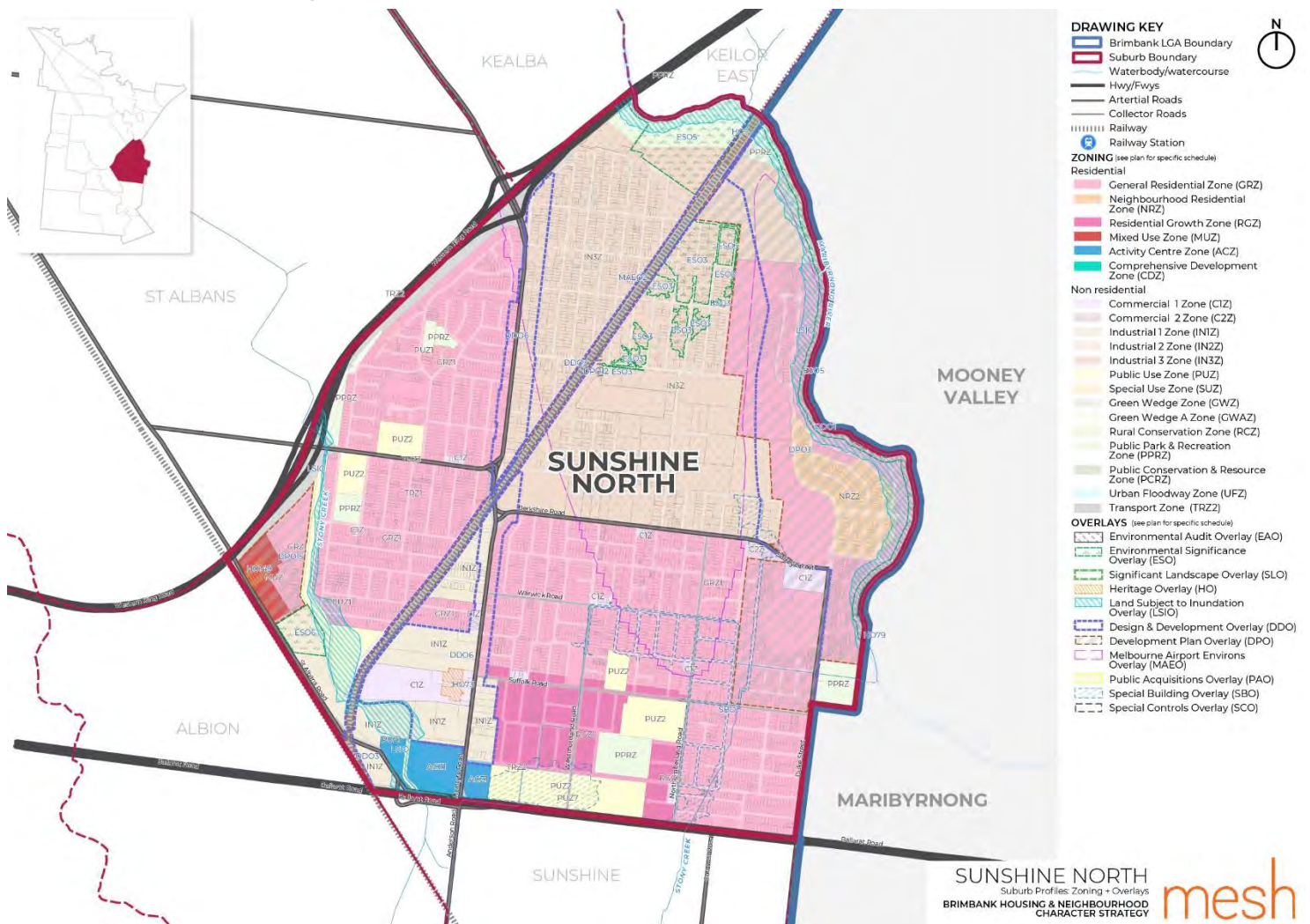


Figure 38: Sunshine North - (Left) Typical traditional house with canopy trees in front setback. (Centre) High density contemporary development in the north. (Right) Slope responsive dwelling along River Valley Boulevard.



Existing Suburb Character Description

A mixture of traditional housing stock and more contemporary development with diverse architectural styles, materials and colour palettes.

Traditional housing stock is typically single storey, situated on moderately sized lots. Medium density or dual occupancy residential outcomes with increased density and site coverage are scattered throughout. Low scale landscaping is achieved as part of traditional housing stock, this is further minimised as part of contemporary development. Species selection is diverse and typically low scale. A greater level of canopy coverage is achieved from street trees and other parts of the public realm than from private lots.

Contemporary townhouse and unit developments are scattered throughout but found more frequently in the northeast, adjoining the Maribyrnong River. Contemporary and infill development results in increased site coverage and built form bulk, together this increases impervious surfaces. These typologies often feature built form to the property line, which reduces opportunity for side setback landscaping. Contemporary development often includes double or triple storey height. Triple storey height is often a result of significant slope in the land and is common as part of the River Valley Development.

Various smaller and larger vacant sites exist throughout the suburb, particularly in the southwest. These may be subject to redevelopment in the future.

The area is surrounded by industrial development to the north, southwest and southeast adjoining Braybrook. The Western Ring Road provides a hard boundary between Sunshine North and St Albans. Direct interfaces to non-residential zoned land often achieves high scaled fencing. McIntyre Road and Berkshire Road provide a separation between industrial and residential land uses.

The suburb includes a variety of zones, including Industrial 3 and Industrial 1 Zones, Commercial 1 Zones, a Mixed Use Zone and a small portion of Activity Centre 1 Zone in the south, adjoining Sunshine Activity Centre.

Design and Development Overlays affect land along the Maribyrnong River and McIntyre Road. Development Plan Overlays affect infill development in the northeast and southwest adjoining St Albans Road. Heritage Overlays affect three properties where design outcomes have integrated heritage features into larger developments. Land Subject to Inundation and Floodway Overlays affect various streets within the northeast and southern parts of the suburb.

Suburb Contributors and Threats

Contributors

- **Consistent, complementary colours and materials:** Consistency of building styles along interface with Sunshine/Ballarat Road.
- **Vegetation and landscaping:** Deciduous tree planting along streets and within the private realm.
- **Vegetation and landscaping:** Streets with established street trees and canopy coverage
- **Street layout:** Wide streets create a spacious setting.
- **Low to moderate height front fencing:** Limited front fencing on local roads.

Threats

- **Excessive bulk or height:** Significant areas of infill development.
- **Inadequate landscaping:** Removal of vegetation and minimal areas for landscaping as a result of contemporary infill development.
- **Dominant vehicle access and parking:** Increase in single crossovers which impacts street tree planting.
- **Dominant vehicle access and parking:** Dominance of car access and parking within contemporary development areas.
- **Excessive bulk or height:** Slope of the land in the northeast increases site coverage and limits landscaping.
- **Excessive bulk or height:** High levels of impervious surfaces in the northeast.

Neighbourhood Character Features

Table 19: Sunshine North Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none"> Residential interface and frontage key local roads Example: <i>Ballarat Road and McIntyre Road</i>. Maribyrnong River abuts the eastern suburb boundary. Western Ring Road abuts the western boundary. Direct interface with industrial areas and the rail corridor.
	Private & public realm landscaping	<ul style="list-style-type: none"> Uniform street tree planting. <i>Example: Harley Street</i>. Street trees typically established. Moderate front gardens with varied low scale planting and limited canopy trees as part of traditional housing stock. Minimal front gardens as part of contemporary development. Slope of front gardens in the northeast typically results in increased hardscaping and minimal landscaping. Back of fence interface is common to open space and pocket parks.
	Street alignment, type & proportions	<ul style="list-style-type: none"> Largely grid based street network. Wide streets that allow for parking on both sides. Unconventional grid street network in the northwest and northeast with some instances of dead-end style treatments. Townhouse typologies in the northeast are accessed via narrow streets and lanes.
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Minimal to moderate side setbacks. Minimal front and side setbacks as part of contemporary infill development. Dwellings built to boundary often as part of contemporary development. Increased site coverage as part of contemporary development. Moderate front setbacks as part of traditional housing stock on both sides of the street.
	Building types & height	<ul style="list-style-type: none"> Traditional housing stock is predominately low rise single storey detached dwellings. Contemporary development is predominately double storey attached townhouses or units. Frequent dual occupancy development outcomes. Various vacant sites.
	Lot size	<ul style="list-style-type: none"> Varied lot sizes predominately 500–650sqm. Larger lot sizes are typical adjoining Westmoreland Road. Residential density increased in the north and central areas as part of contemporary infill development.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Front fencing is common, typically low scale and permeable. Timber and brick materials in light colours are common. Contemporary development often includes front fencing in timber picket fence styles. Some instances of metal and ‘pool style’ fencing in both traditional and contemporary housing stock.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Side setbacks in traditional housing stock typically include carports and vehicle parking. Some instances of garages integrated with the built form in traditional housing stock. Contemporary development predominately includes integrated garages. Predominately single crossovers.

Features for Assessment		Neighbourhood Feature Observations
		<ul style="list-style-type: none"> Some instances of dual crossovers, typically as part of contemporary infill development.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Mixed eras of development. Traditional housing stock is typically post-war era. Substantial areas under development.
	Building materiality & quality	<ul style="list-style-type: none"> Built form styles and material/colour palette vary. Traditional housing stock typically well-maintained brick in orange and cream colours. Some instances of weatherboard materials, which are typically less maintained, in white and cream colours. Contemporary infill development of varying architectural styles, typically in grey tones. Contemporary infill development introduces metal and rendered concrete materials.
	Roof styles, materials & colours	<ul style="list-style-type: none"> Predominately hip roof styles with terracotta or charcoal tiles. Contemporary development varies roof styles, with flat and shed roof styles emerging. Eaves are common as part of traditional housing stock. Limited instances of eaves as part of contemporary development. Solar panels are more common on contemporary development.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> Typically footpaths on both sides of the street. Slope of land in the northeast often results in single-side footpaths. Footpaths not provided along the industrial side of Berkshire Road.

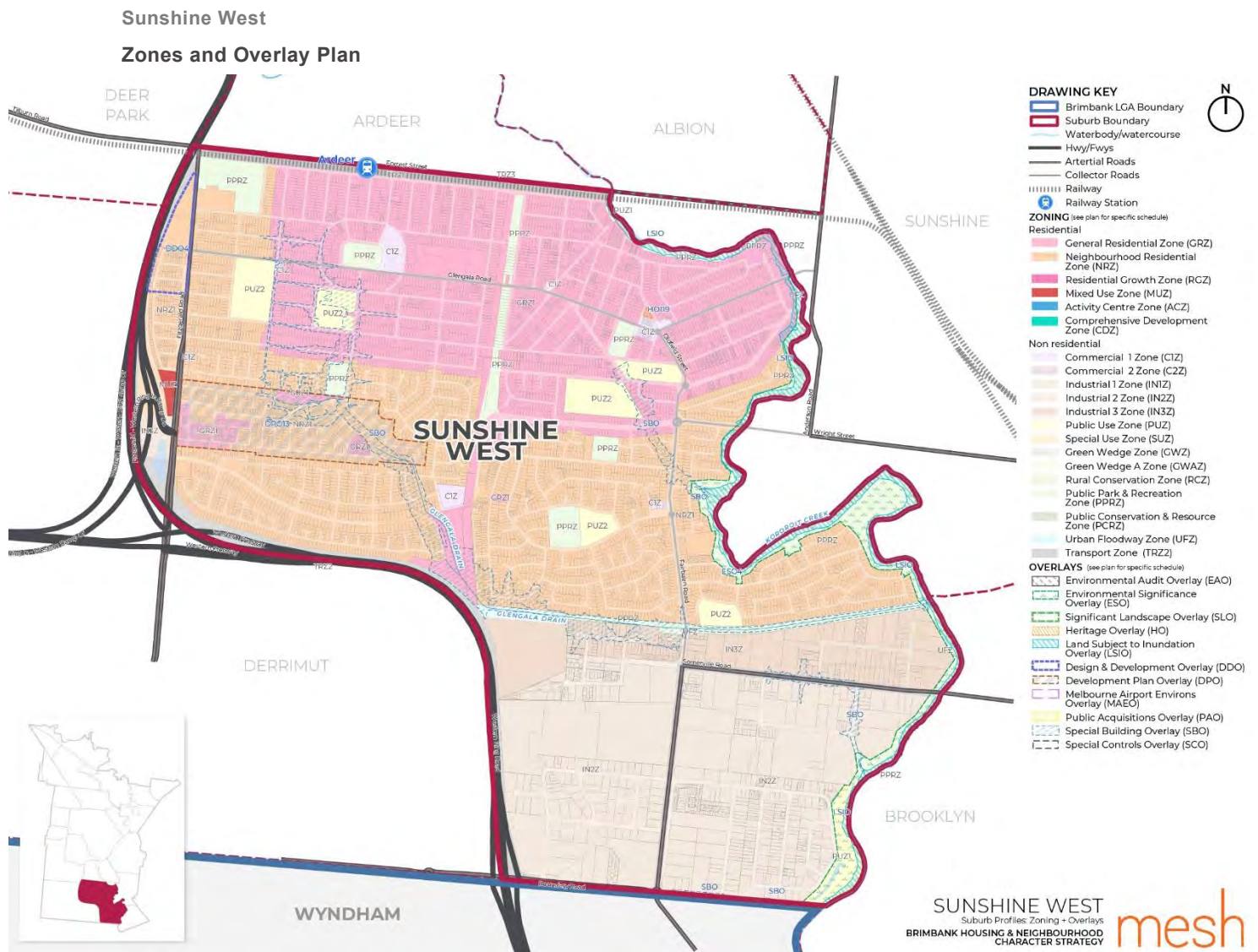


Figure 39: Sunshine West - (Left) Dwellings with consistent setbacks, materials and colours in the south-east. (Centre) dwellings with moderate setbacks and landscaping in the north-east along Kosky Street. (Right) Contemporary development in the south-west.



Existing Suburb Character Description

A mixture of wide grid based and curvilinear street networks which create a spacious setting and high levels of pedestrian connectivity. There is limited vacant sites throughout and examples both small and large scale infill development in recent years.

Distinct pockets of development forms and architectural styles exist throughout the suburb.

This is likely a result of the gradual development of Sunshine West. There limited street based differences between dwellings which fall in varied residential zones, except for areas subject to higher quantities of infill development in the southwest.

Residential development is surrounded by hard and natural infrastructure assets being the Western Ring Road, Kororoit Creek and industrial land uses in the south. There are limited vehicle connections to the north and east into adjoining residential suburbs.

The suburb contains varied canopy coverage and street tree provision. Front landscaping achieves moderate landscaping in the north and northeast. Landscaping is significantly impacted by vehicle access and parking in the southeast.

Nine education facilities, local convenience centres and a variety of open space and linear reserves service the area. Overhead transmission powerlines run north to south through the centre of the suburb.

Suburb Contributors and Threats

Contributors

- **Consistency of siting, setbacks and site coverage:** Consistent and uniform setbacks.
- **Consistency of siting, setbacks and site coverage:** Development typically respects surrounding built form siting and design outcomes.
- **Consistent, complementary colours and materials:** Complementary material selection contribute to character in the northeast.
- **Integrated infill development:** Infill development provides an active interface to open space and pocket parks.
- **Street layout:** Grid based and wide street networks contribute to a spacious setting.
- **Low to moderate height front fencing:** Low rise or no front fences along the length of the street.

Threats

- **Inadequate landscaping:** Removal of canopy trees in the private realm as part of contemporary infill development.
- **Change in materiality or style:** Limited building and landscaping maintenance in the southeast impacts the quality of the streetscape.
- **Excessive bulk or height:** Impacts on private realm landscaping as a result of more prominent built form on a lot.

Neighbourhood Character Features

Table 20: Sunshine West Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none"> • Drainage easement in the south provides separation between land uses. • Back of fence interface to Kororoit Creek, open space, linear reserves and pocket parks. • Back fence interface and direct abuttal to Western Ring Road. • Sound barrier along the rail line limits visibility and connectivity to Ardeer.
	Private & public realm landscaping	<ul style="list-style-type: none"> • Varied streets and street tree planting. • Increased street tree planting in contemporary development. • Canopy trees more often found within the private realm than the public realm. • Moderate front landscaping as part of traditional housing stock. • Minimal front landscaping in the southeast, often only lawn. • Contemporary development results in minimal front landscaping with no canopy tree provision. • Street tree planting often by individual owners—olive trees and fruit trees. • Typically well-maintained, neat private landscaping.

Features for Assessment		Neighbourhood Feature Observations
	Street alignment, type & proportions	<ul style="list-style-type: none"> Predominately wide streets. Infill development reduce street widths. Grid based street network in the north and northeast. Curvilinear dead-end style street network in the south. Irregular narrow grid network as part of infill development in the west.
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Variation in setbacks across the suburb often a result of different pockets of development eras. Minimal front and side setbacks as part of contemporary development. Traditional housing stock includes moderate front setbacks and minimal-moderate side setbacks. Contemporary developments are typically built to property line. Uniform setbacks as part of traditional housing stock <i>Example: Killara Street, Korowa Street.</i> Front setbacks provide vehicle parking that typically impacts landscaping. Larger detached dwellings and infill development increases site coverage. Dwellings in the southeast are often setback from the street on an angle.
	Building types & height	<ul style="list-style-type: none"> Traditional housing stock predominately low rise, single storey detached dwellings. Contemporary development typically single to double storey, some instances of triple storey. A mix of detached dwellings and attached townhouses and units. Pockets of predominately double storey detached dwellings on larger lots in the southwest adjoining The Avenue. Architectural elements on dwellings in the southwest often accentuate the height of the dwelling.
	Lot size	<ul style="list-style-type: none"> Varied lot sizes associated with variation in development era. Predominately 500–650sqm sized lots in the south and northeast. Lots 650–800sqm in the north with some instances of 800–1000sqm lots. Highest density in the southwest.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Typically low scale, permeable brick front fencing with metal detail. Front fencing common in the north and northeast. Limited front fencing in the southeast. Often 'pool style'. Limited front fencing as part of contemporary development. Some instances of moderate to high permeable fencing with wrought iron details in north.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Garages and carports are set back or in line with front façades. Traditional housing stock typically includes vehicle access and parking within side setbacks. Garages integrated in as part of the dwelling in contemporary development. Predominately single crossovers. Dual crossovers more common in southwest.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Distinctive eras of development. 1980s style builds in the southeast, 1990s to 2000s style builds in the southwest and 1950 - 1970s builds in the north abutting the train line. Recent 1990s to 2000s infill development in the west and adjoining central convenience centres.
	Building materiality & quality	<ul style="list-style-type: none"> Variation in building quality, with rendered materials typically displaying water damage. Variation in architectural styles and colours in the west. Consistent red brick materials in the northwest. Observations from 2019 Neighbourhood Character Study are affirmed in respect to red brick materials along Glengala Road.

Features for Assessment		Neighbourhood Feature Observations
		<ul style="list-style-type: none"> • Infill development typical includes a mix of brick and rendered concrete in neutral finishes. • Brick dwellings typically of orange and cream colours. • Roller shutters form part of dwellings more frequently in the south and southeast.
	Roof styles, materials & colours	<ul style="list-style-type: none"> • Predominately hip and flat roofs styles. • Traditional housing stock includes hip style tiled roofs. • Contemporary infill development has flat roof styles. • Limited terracotta roof colours in the southwest. • Eaves are common as part of traditional housing stock. Some instances of eaves as part of contemporary development. • Limited instances of solar panels on roofs.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none"> • Frequent pedestrian and cyclist crossings over Kororoit Creek. • North-south road alignment provides direct access to Ardeer Station. • Limited pedestrian connectivity within the central transmission line easement.

Sydenham

Zones and Overlay Plan

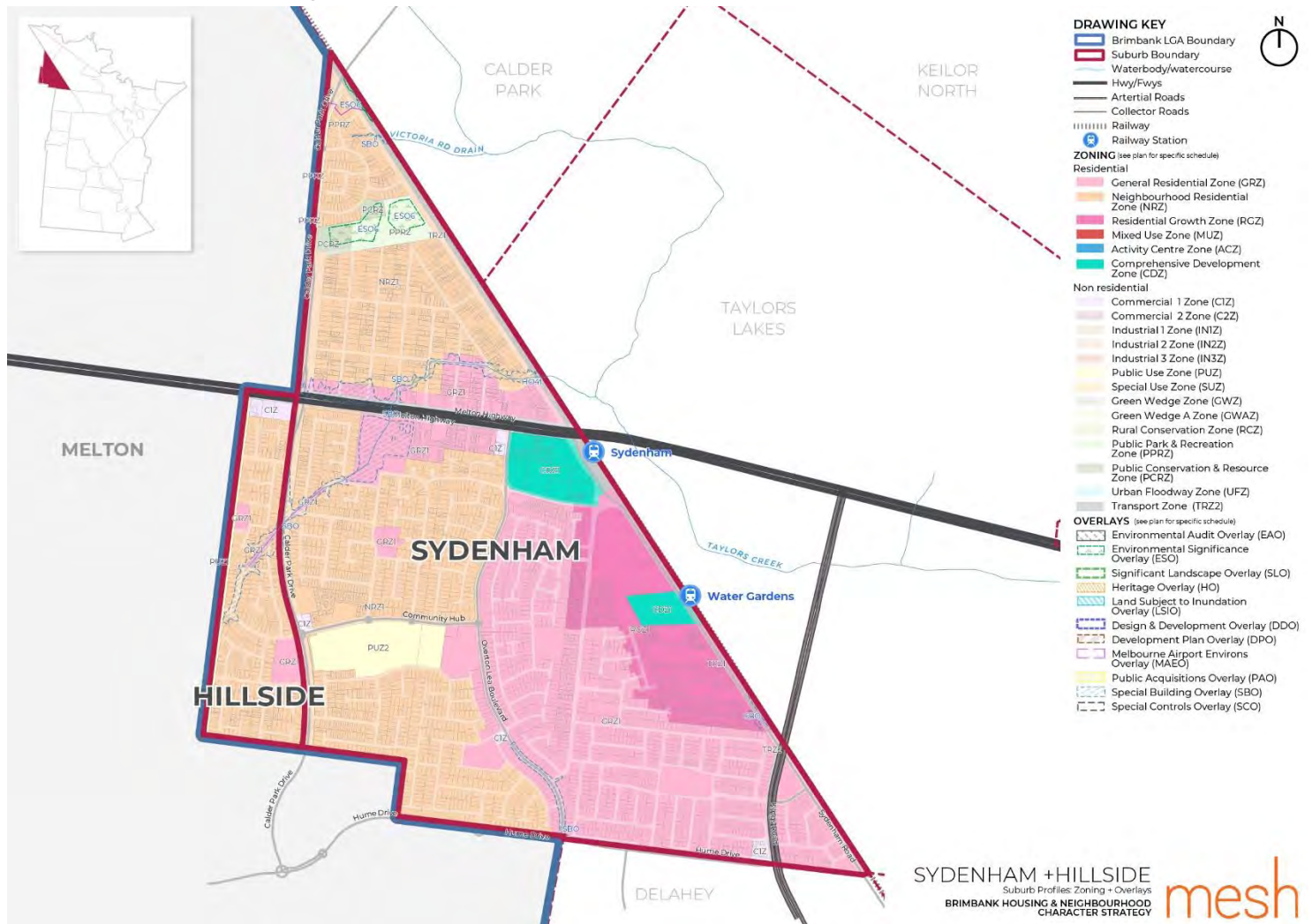


Figure 40: Sydenham - (Left) Gated development outcome. (Centre) Townhouse typologies along Trickey Avenue. (Right) Spacious streets with canopy trees in the north.



Existing Suburb Character Description

Whilst traditionally single and double storey detached dwellings, Sydenham is undergoing residential transition. Residential transition result in the development of medium density and apartment style typologies in close proximity to Watergardens Train Station and Melton Highway. An increase in housing density due to different residential zoning is evident from the street network, particularly along Trickey Avenue and Pecks Road.

Recent medium density and apartment typologies vary the streetscape by increasing vehicle crossovers, reducing front setbacks and providing limited integration with adjoining open space.

Various vacant sites across the suburb provide further opportunity for an increase in residential development. This is particularly evident along Melton Highway and Sydenham Road. However, higher building heights are unlikely to obscure any important view lines.

Positioned between Calder Park Drive (west) and the Sunbury Rain Line (east). The rail line provides a hard boundary between residential development and Watergardens Shopping Centre. Residential lots have a back of fence interface occur along the full length of Calder Park Drive. Varied interfaces, including slip lane access, are provided to both Melton Highway and Hume Drive. Narrow curvilinear streets typically include footpaths on one side only. Vehicle parking on the nature strip is also typical, this limits street tree provision.

Aged care facilities and gated residential areas dominate the streetscape and introduce fencing in areas where fencing has traditionally not occurred. Several primary and secondary schools, commercial land uses and linkages to Watergardens Shopping Centre provide access to convenience and education. Open space is scattered throughout the suburb.

Suburb Contributors and Threats

Contributors

- **Vegetation and landscaping:** Native gums appear to be the prevailing canopy tree and contribute to overall greening.
- **Vegetation and landscaping:** Private front gardens are well-maintained and tidy.
- **Low to moderate height front fencing:** Little to no front fencing.

Threats

- **Excessive bulk or height:** Contemporary development varies built form scale, site coverage and setback along the street.
- **Poorly integrated retirement villages and aged care facilities:** Limited integration of residential dwellings and aged care centres into adjoining public open space.
- **Inadequate landscaping:** Limited landscaping outcomes as part of contemporary development and low rise apartment typologies.
- **High fencing:** Prominent fencing around aged care facilities and gated residential areas.

Neighbourhood Character Features

Table 21: Sydenham Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none">• Road interface along the full length of the rail line.• Back fence interface along the full frontage to Calder Park Drive.• Mixed interface treatments to Melton Highway.• Melton Highway limits both pedestrian and vehicle north-south connectivity.
	Private & public realm landscaping	<ul style="list-style-type: none">• Canopy trees and shrubs along the residential interface with both the rail line and Calder Park Drive.• Moderate front garden landscaping.• Minimal front garden landscaping as part of contemporary development.• Minimal canopy tree and street tree provision throughout.• Native gums appear to be the prevailing canopy tree.• Overton Lea Boulevard is moderately landscaped with shrubs and canopy trees.

Features for Assessment		Neighbourhood Feature Observations
		<ul style="list-style-type: none"> Varied front garden species planting with higher instances of gravel in replacement of lawn.
	Street alignment, type & proportions	<ul style="list-style-type: none"> Mix of curvilinear with cul-de-sac pattern and grid based street layouts. Narrow streets. Community Hub and Overton Lea Boulevard (streets in Sydenham) provide wider streets. Series of dead-end /gun barrel streets and driveways associated with contemporary development in the south-east.
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Minimal side setbacks that increase to moderate north of Melton Highway. Moderate front setbacks as part of traditional housing stock. Minimal front setbacks as part of townhouse and apartment typologies. Garages often built to property boundary, resulting in no side setbacks. Townhouse and apartment typologies have minimal front setbacks not in keeping with the street.
	Building types & height	<ul style="list-style-type: none"> Low rise, predominately single store detached dwellings Limited instances of double storey detached dwellings as part of traditional housing stock. Double storey townhouse typologies particularly in the southeast. Triple storey development in the east in proximity Melton Highway. Older style townhouse typologies in the north. <i>Example: Victoria Road, Chandos Street and Erskine Way.</i>
	Lot size	<ul style="list-style-type: none"> Mix of lot sizes throughout, with lot sizes increasing in the north. Predominately 500–600sqm lots to the south of Melton Highway. Large lot sizes above 1000sqm north of Melton Highway. A high proportion of lots under 400sqm along Pecks Road and Sydenham Road. Various vacant lots.
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Limited front fencing. Where front fences exist, these are typically low and permeable, and of wood, brick or metal ‘pool style’ in green or white colours. Colorbond steel fencing alongside boundary to the street is common. Prominent fencing around aged care facilities and gated residential areas.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Carports and garages provided in line with, or set back from, front façades in both traditional and contemporary housing stock. Moderate side setbacks provide vehicle access for larger lots. Front setbacks of multi-unit and townhouse tenancies often used for additional vehicle parking. Townhouse and units achieve access via shared driveways. Larger lot sizes often feature double crossovers.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Predominately 1990s to 2000s builds.
	Building materiality & quality	<ul style="list-style-type: none"> Traditional brick dwellings typically in red, orange and cream brick. Rendered concrete in more recent builds typically grey and cream. Variety of materials and colours particularly evident along Sydenham Road north of Melton Highway. Increasing use of dark colours and materials.
	Roof styles, materials & colours	<ul style="list-style-type: none"> Gable or hipped roof styles. Hip roof styles are common with dark or terracotta tiles. Dutch style roofs as part of traditional housing stock.

Features for Assessment		Neighbourhood Feature Observations
		<ul style="list-style-type: none">• Eaves are common across both single and double storey dwellings.• Solar panels are more common on contemporary development.
Notable Features	Details of the footpath & street	<ul style="list-style-type: none">• Pedestrian paths predominately on one side of street.• Some instances of no pedestrian path as part of dead-end style streets. <i>Example: Gibson Court.</i>

Taylors Lakes Zones and Overlay Plan

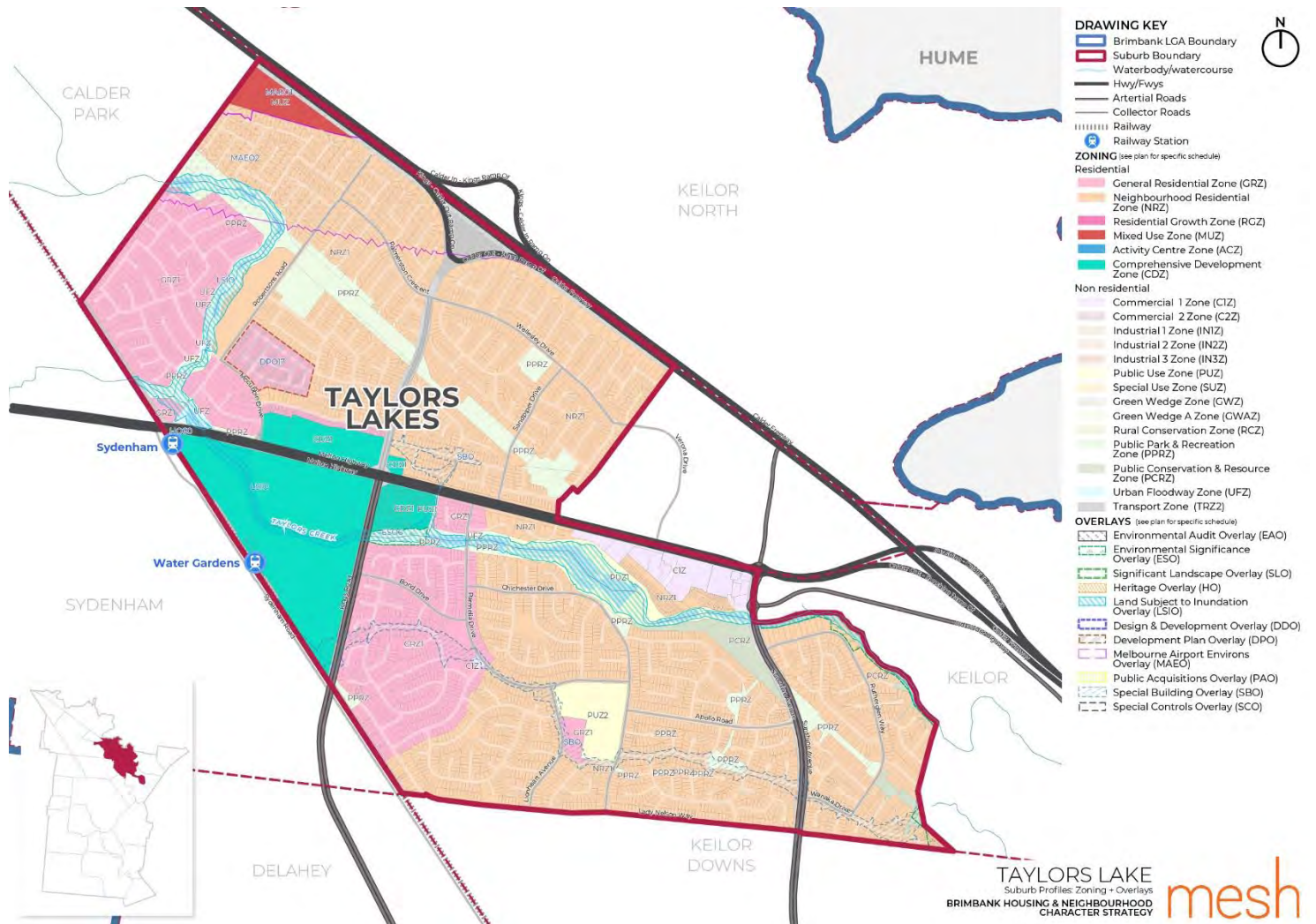
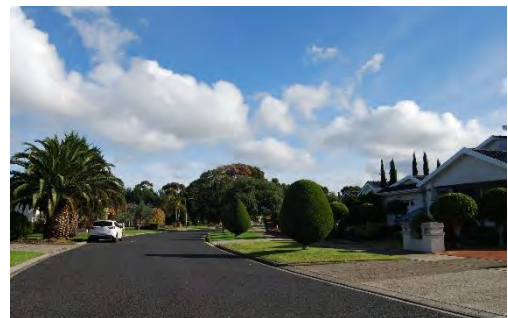


Figure 41: Taylors Lakes - (Left) Diversity in architectural styles on Perceval Crescent. (Centre) Contemporary townhouse development along Wentworth Drive. (Right) Palm and Cyprus trees in the nature strip



Existing Suburb Character Description

Predominately detached residential dwellings on larger lots with increased building bulk and scale. Generous front setbacks typically allow space for well-maintained moderate scale plantings.

A spacious landscape setting integrates with the broader open space and creek line network.

Limited infill development outcomes are present. Double storey townhouses along Wentworth Road, Village Avenue and Shoppers Lane feature colours and materials similar to traditional housing stock and achieve a moderate level of integration to the street.

Relatively flat with minimal slopes towards Taylors Creek. The subdivision layout allows for residential development to positively address open space and natural assets throughout the suburb. A spacious and curvilinear street network provides footpaths, typically on one side. Generous front setbacks and nature strips contribute to a sense of spaciousness. Back of fence treatments to the transmission line easement limit visual connectivity and passive surveillance of the linear reserve.

Kings Road and Sunshine Avenue dissect the suburb in a north-south direction and Melton Highway dissects the suburb in an east-west direction. This results in minor changes to architectural styles and building materials.

Both municipal and local scale convenience and retail provision abut Melton Highway. Integrated bulky goods are located along McCubbin Drive. School and active recreation facilities are integrated within residential areas. Back of fence treatments are typical adjoining major roads and commercial/retail land uses. There is restricted pedestrian connectivity to both Watergardens Shopping Centre and Watergardens Train Station.

The Melbourne Airport Environs Overlay affects properties in the north. The Comprehensive Development Zone affects land north of Melton Highway. A Development Plan Overlay affects future development off Robertsons Road.

Suburb Contributors and Threats

Contributors

- **Vegetation and landscaping:** Private realm and street tree planting contribute to a spacious landscape setting and overall greening.
- **Street layout:** Wide streets contribute to a spacious landscape setting.
- **Consistent, complementary colours and materials:** Varied architectural styles with a similar colour palette contribute to the sense of character.
- **Consistent, complementary colours and materials:** High quality and well-maintained residential dwellings.
- **Consistent, complementary colours and materials:** Townhouse typologies use orange and cream brick in keeping with traditional housing stock.

Threats

- **Excessive bulk or height:** Increased site coverage which limits landscaping.
- **Inadequate landscaping:** Removal of established street trees to provide further vehicle crossovers.

Neighbourhood Character Features

Table 22: Taylors Lakes Neighbourhood Character Feature Observations

Features for Assessment		Neighbourhood Feature Observations
Pattern of Development	Locations, transitions & boundaries	<ul style="list-style-type: none">• Limited residential interface along Kings Road with back of fence interface along the southern side and slip lane access along the northern side.• Back of fence interface along Calder Freeway.
	Private & public realm landscaping	<ul style="list-style-type: none">• Established street planting on most streets.• Palm and Cyprus trees within private realm landscaping, particularly in the south.• Moderate front garden planting often shrubs lining the pavement, low rise plantings or lawn.

Features for Assessment		Neighbourhood Feature Observations
		<ul style="list-style-type: none"> Established canopy trees are present in most front gardens. Various species of street trees across the suburb.
	Street alignment, type & proportions	<ul style="list-style-type: none"> Curvilinear with a cul-de-sac pattern street network. Slip lane allows access to dwellings from Melton Highway and Kings Road. Wide streets throughout.
Built Form Scale and Character	Setbacks & site coverage	<ul style="list-style-type: none"> Moderate side setbacks typically offer access to rear of properties or carports. Generous front setbacks that often feel more spacious as a result of no footpath provision. Large building footprints increase site coverage.
	Building types & height	<ul style="list-style-type: none"> Predominately single and double storey detached dwellings. Contemporary townhouse development with homogenous built form within proximity to Watergardens Activity Centre or Melton Highway. <i>Example: Wentworth Road, Village Avenue, Shoppers Lane.</i>
	Lot size	<ul style="list-style-type: none"> Predominately lots of 650–1000sqm. Lots greater than 1000sqm adjoin the Calder Freeway. Lots less than 300sqm typical of townhouse development. <i>Example: Wentworth Road, Village Avenue, Shoppers Lane.</i>
	Fencing height, materiality, finish & transparency	<ul style="list-style-type: none"> Limited front fencing. Some instances of low to medium front fencing, typically of moderate permeability. Brick and stained timber material selection in instances of front fencing. Hedging often used in the absence of front fencing to provide separation.
	Garages, carports, crossovers, access & car parking	<ul style="list-style-type: none"> Garages and carports often integrated with the dwelling, typically of brick material. Side-of-house carports of Colorbond steel. Varied provision of single and double crossovers. Double crossovers to a single dwelling more predominate north of Melton Highway. Double crossovers achieve access for two townhouses.
Architectural Styles and Roof Styles	Era of development	<ul style="list-style-type: none"> Predominantly 1990s to 2000s along north and southwest. Predominantly 1980s in the south adjoining Keilor Downs. Emerging 2000s builds as a result of infill development.
	Building materiality & quality	<ul style="list-style-type: none"> Predominately brick dwellings typically of orange and cream colours. Light coloured concrete and rendered materials used in 2000s era development. Varied architectural styles with high levels of maintenance and quality. Townhouse typologies use orange and cream brick in keeping with traditional housing stock. Some instances of coloured render as part of detached dwellings.
	Roof styles, materials & colours	<ul style="list-style-type: none"> Varied roof styles throughout. Typically gable roof styles. Several instances of hip and flat roof styles. Flat roof styles are typically associated with 2000s era detached dwellings. Charcoal and terracotta tile colour is predominant. Some instances of eaves. Some instances of solar panels on roofs.

Features for Assessment		Neighbourhood Feature Observations
Notable Features	Details of the footpath & street	<ul style="list-style-type: none">• Pedestrian paths largely on one side of the street• Pedestrian paths connect dead-end style streets.• Some instances of no footpaths as part of court bowls and dead-end style streets.