

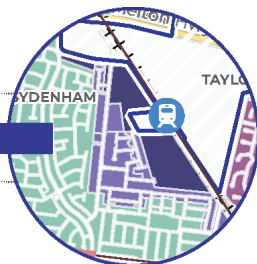
# Appendix 2

Appendix 2 describes the Preferred Character Precincts in more detail.

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## Urban Renewal



### RGZ2 – Substantial change

Areas immediately surrounding train stations and activity centres, and along key road and rail interfaces, have been identified for substantial change (RGZ) due to locational and liveability advantages, and where the type of interface makes an area suitable for a change in character.

The existing, predominantly low-scale nature of housing in these areas will fundamentally change over time, with infill development of units, apartments and housing forms of up to four storeys on larger consolidated lots. Areas of RGZ around the Sunshine MeAC and other large-scale development will also act as a transition between taller buildings (of up to 9 storeys in the MeAC) and the lower-scale development of surrounding residential neighbourhoods.

Reduced street setbacks in the order of 4 metres will allow for a new streetscape character. Variations to side setbacks will support well designed, efficient apartment buildings and avoid tiered upper storeys. Where suitable, walls on boundaries will be used to manage the impacts to existing residences.

Although neighbourhood character is not a consideration in these areas, Brimbank has a rich history shaped by its industrial heritage and an identity shaped by immigration and multi-culturalism. High quality new development should be encouraged to reference and complement the local context through contemporary design and materiality.

Designs will be innovative, providing a strong, activated sense of address to the street. Garage and vehicle access dominance will be minimised through limiting the number of vehicle crossings to one per site. Building and siting orientation will address the streetscape, reduce overlooking conflicts and provide clearly defined entrances, windows and balcony treatments. Site services such as lifts, bins, mailboxes, utility meters, will be visually integrated with the development. Fencing will be low scale, except along higher order roads and rail interfaces, where higher fencing in the order 1.5 metres will offer amenity protection, balanced with upper storey activation (windows, balconies).

While it is challenging to balance meaningful landscaping with efficient development outcomes on mid-scale development sites, urban-scale landscaping that provides some softening of built form and support a canopy tree will be required. A canopy tree of approximately 6 metres high is encouraged within the site frontage and along shared driveways. Appropriate setbacks will allow for the retention of existing canopy trees and planting of new canopy trees and landscaping.

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*RGZ land within the St Albans Structure Plan Area will continue to use the existing RGZ1.*

## Urban Transition



### GRZ2 – Substantial change

Outside the immediate area of the stations, and within local streets, areas will progressively change over time, with existing housing added to or replaced by units, townhouses and some low-scale apartments of up to three storeys (GRZ). These areas will offer a transition between the more intensive building forms in the immediate surrounds of the activity centres (RGZ areas) and the incremental and minimal change areas in surrounding residential neighbourhoods.

Development will exhibit consistent front setbacks, albeit slightly reduced from what currently exists in some areas, to support denser housing forms. However, the spacing between dwellings will generally be respected even though the heights and intensity of development may increase. Side setbacks on one side of the lot will be larger than the other, where this rhythm of housing predominates.

Architectural styles will be varied, yet contemporary, avoiding mock-heritage allusions. However, new development in intact areas of consistent architectural style will be encouraged to provide contemporary references to traditional architectural styles such as windows, porches, materiality and detailing.

Space for landscaping, including canopy trees in front gardens, will be provided to soften built form and to contribute to an enhanced treed streetscape character.

Where new development abuts open space, it should be designed to provide a positive, active interface to that space. Where development currently backs on to open space with rear fences, redevelopment is an opportunity to improve the relationship between development and open space.

## Suburban Traditional



### **NRZ1 – Incremental and minimal change (MAEO)**

### **NRZ3 – Minimal change (interface to industrial and landfill)**

Between the activity centres and train station walkable catchments<sup>76</sup> of the southern parts of Brimbank, change to traditional character will be incremental and will generally take the form of replacement dwelling, additional dwellings, dual-occupancies, villa units and some townhouses.

Of the southern parts of Brimbank, change to traditional character will be incremental and will generally take the form of replacement dwelling, additional dwellings, dual-occupancies, villa units and some townhouses. Development will be low scale, up to a maximum of two storeys, and will generally maintain the streetscape rhythm of detached or semi-detached homes, with consistent street setbacks, front gardens with low/no fencing and space for landscaping to at least one side of the dwelling.

Development will present a strong sense of address to the street (including corners), garages and carports will be recessed and services and utilities (e.g., air conditioners) will be discretely located.

Built form will occupy a moderate portion of the site area (which will represent a slight increase on the current average site coverage in some areas), and second storeys will be set back from neighbouring properties to minimise visual bulk. Architectural styles and materials will be varied, but in areas exhibiting a consistent architectural style (such as areas of intact post-war homes), new development will be encouraged to provide contemporary references to traditional architectural styles such as windows, porches, materiality and detailing.

New development will incorporate canopy trees in the front setback, and elsewhere on the site, if possible, to enhance the treed character of the neighbourhood.

*The NRZ1 Schedule also applies to minimal change areas affected by the MAEO. The preferred character of these areas is the same as the above description; however, the density of any new development is limited by the overlay.*

*The NRZ3 Schedule is the same as the NRZ1, but it incorporates a minimum subdivision size to manage conflicts with the nearby MHFs. Minimum subdivision size will be set to prevent additional dwellings on lots.*

### **NRZ1 + HO – Minimal change**

Neighbourhoods affected by the HO will undergo minimal change, despite their location primarily near transport and activity centres. In these areas, heritage protection will be the priority.

New development will still occur, but it will need to be very sensitively designed, having regard to the heritage values of the buildings and the surrounding context. As such, development is likely to be limited to forms that can integrate well with the existing housing. Demolition of contributory buildings will be avoided having regard to the Brimbank's Heritage Design Guidelines.

Heritage considerations implemented via the HO, and the guidance contained within the Heritage Design Guidelines will apply in conjunction with other aspects of the Suburban Traditional Preferred Character (albeit in a matter that prioritises heritage requirements for contributory dwellings).

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## Suburban Masterplanned

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### NRZ4 – Incremental change



The recently developed masterplanned character of this area is expected to change very slowly. Existing homes may be renovated, replaced by newer homes or low-scale units. Secondary dwellings (granny flats) may be added where space permits in larger rear setbacks.

Development will be up to two storeys and will generally maintain the streetscape rhythm of detached or semi-detached homes, with street setbacks consistent with the prevailing setbacks of the street. Minimal side setbacks at ground level will be balanced with recessed upper storey setbacks.

New housing should be designed carefully to respond to the specific site conditions, including where there is varied topography, and where curved streets create narrow lot frontages and irregularly shaped sites. An active interface to the street and recessive integrated garages will be strongly encouraged, even though the existing pattern of development may set a different precedent.

Built form will occupy a moderate to high portion of the site, reflective of more contemporary patterns of housing development. Formal landscaping incorporating canopy trees will be encouraged to contribute to an enhanced treed character and will need to be balanced with site coverage.

Architectural styles and materials will be diverse, incorporating both contemporary designs and historical references.

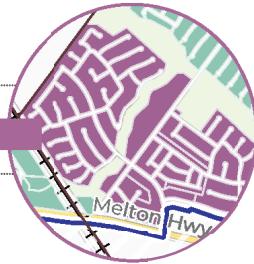
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*The NRZ4 Schedule also applies to minimal change areas affected by the MAEO. The preferred character of these areas is the same as the above description; however, the density of any new development is limited by the overlay.*

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*The NRZ5 Schedule is the same as the NRZ3, but it incorporates a minimum subdivision size to manage conflicts with nearby MHFs. Minimum subdivision size will be set to prevent additional dwellings on lots.*

## Grand Suburban



### GRZ3 – Incremental change

The preferred character of the Grand Suburban area will be similar to that of the Suburban Masterplanned area, except it will permit higher-scale and bulkier development of up to three storeys, in recognition of the grand scale of many of the existing dwellings in the area.<sup>77</sup>

As above, the recently developed masterplanned character of this area is expected to change very slowly. Existing homes may be renovated or replaced by newer homes or units, and secondary dwellings (granny flats) may be added where space permits in larger rear setbacks.

Development will be up to three storeys and will generally maintain the streetscape rhythm of grand detached or semi-detached homes, with street setbacks consistent with the prevailing setbacks of

the street. Like the existing pattern of development, recessed upper side setbacks will not be necessary.

Garages will be integrated into the built form and incorporate decorative architectural features to soften the prominence of garage doors.

On narrower lots (i.e., where standard lots are subdivided), garages should be recessed.

Built form will occupy a moderate to high portion of the site, reflective of more contemporary patterns of housing development. However, formal landscaping incorporating canopy trees will be encouraged to contribute to an enhanced treed character.

Architectural styles and materials will be diverse, incorporating both contemporary designs and historical references.

<sup>77</sup> While housing is typically two storeys, homes are often bulky, and have third-storey elements or parapets.

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## Landscape Suburban

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### **NRZ6 – Minimal change**

### **NRZ6 – Minimal change (MAEO)**

The existing character of the Landscape Suburban area will remain the preferred character. Growth and change will be incremental or minimal (within the MAEO). Existing homes may be renovated or replaced by newer homes of up to two storeys (however some wall heights on sloping sites may exceed the maximum height of the NRZ). Low-scale units or secondary dwellings (granny flats) may be developed where not constrained by the MAEO.

Grand homes in a variety of architectural styles will be situated in a landscaped setting. The design and siting of homes will respond to the topography, and setbacks (front and side) will be generous, offering ample space for landscaping, including multiple large canopy trees.

Built form will occupy a low portion of the site, leaving space for extensive landscaping. Front fencing will be low or absent. New development will seek to retain existing mature trees as these are a central component of the character of the area.